

November 23, 1998

CUST ID No.170200

ATTN: Buildings & Structures INSPECTOR

FRANK G. PLETCHER
AE-3 LTD ARCHITECTS & ENGINEERS
205 W. HIGHLAND AV., SUITE 302
MILWAUKEE, WI 53203

MUNICIPAL CLERK
VILLAGE OF BROWN DEER
4800 W GREEN BROOK DR
MILWAUKEE WI 53223-2406

RE: **CONDITIONAL APPROVAL**
APPROVAL EXPIRES: 11/23/1999

Identification Numbers
Transaction ID No. 189227
Site ID No. 607995
Please refer to both identification numbers, above, in all correspondence with the agency.

SITE:

Site ID: 607995
MILWAUKEE County, Village of BROWN DEER; 4000 W BROWN DEER RD, BROWN DEER 53209
Facility: GUARANTY BANK SSB 4000 W BROWN DEER RD, BROWN DEER 53209

FOR:

Description: Ch 54 Alteration-OFFICES
Object Type: Building Object Regulated Object ID No.: 435105

Description: Ch. 54 Alteration-OFFICES
Object Type: HVAC System Regulated Object ID No.: 435129

Description: Ch. 54 Alteration-OFFICES
Object Type: Lighting Regulated Object ID No.: 435130

Completely Sprinklered
Area of Alteration: 6,680 sq.ft.

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements.

The following conditions shall be met during construction or installation and prior to occupancy or use:

ILHR 50.155 This structure is indicated as being fully protected by an automatic fire sprinkler system (see NFPA 13). This approval does not include a review of the system. The owner shall have and make available upon request by the department a copy of the reports documenting the acceptability of the completed system (see NFPA 13-1989, sections 1-10 and 1-11). The automatic fire sprinkler system plans shall be updated in order properly address the conditionally approved building alteration.

ILHR 63.50(4) Provide automatic lighting shut off controls per this code section. The code exempts the first 5,000 sq.ft. of alteration space. As indicated this alteration consists of 6,680 sq.ft. The shut-off controls would only be required in the areas of alteration.

ILHR 64.31 Provide ducts designed to promote unrestricted air flow. Flex duct, if installed, shall not extend more than 14 ft.

ILHR 64.53(1) HVAC system balancing shall be performed, and a report shall be made available to the department upon request.

ILHR 64.53(3) All operating manuals concerning the HVAC equipment and its maintenance shall be presented to the owner as is appropriate with the alteration.

C
AP
DEPT
DIVISION

SEE

NOTE: Four (4) sets of lighting calculations were sent in with the 4 sets of reflective lighting plans. Only 1 of the 4 sets of lighting calculations are required when 4 sets of reflective ceiling plans are included. Designer of the lighting plans is reminded that the lighting calculations, when submitted, must have an original stamp and signature. Only 1 set of lighting calculations were received that contained both the original professional stamp and the designer's original signature. That set will be kept on file at Dept. of Commerce. The other 3 sets of calculations are being returned.

A copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation.

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,



RANDALL R. DAHMEN P.E.
ENGINEERING CONSULTANT -HVAC
Integrated Services
(608)266-3162 , M-F 7:45AM - 4:30PM
RDAHMEN@COMMERCE.STATE.WI.US

DATE RECEIVED 11/20/1998

FEE REQUIRED \$ 580.00
FEE RECEIVED \$ 580.00
BALANCE DUE \$ 0.00

WiSMART code: 7648

cc: BETTY J WIESE , BUILDING INSPECTOR, (414) 228-6956, MONDAY, 7:45 A.M. - 4:30 P.M.
PAUL RAMSTACK
GUARANTEE BANK SSB
JOHN PROMERSBERGER PRO-TEL INC

NOV 23 1998
ALTERATION
BUILDING/HVAC/LIGHTING
CONDITIONALLY
PROVED
DEPARTMENT OF COMMERCE
DIVISION OF SAFETY AND BUILDINGS
Randall P. Johnson
CORRESPONDENCE
TRANSACTION #
189227

AE
3
LTD

ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

205 W. HIGHLAND AVENUE
MILWAUKEE, WI 53203
FAX: 414/276-8448
PHONE: 414/276-8376

GUARANTY BANK

GUARANTY
BANK

TENANT SPACE, FIRST FLOOR
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT NO. 98047 COVER

ABBREVIATIONS

(1=1)

∠ ANGLE	DEPT DEPARTMENT	GR GRND GROUND
AT AT PERCENT	DRINKING FOUNTAIN	GRND CASSET
AB ANCHOR BOLT	DIAG DOUBLE HUNG	GWB GYPSUM WALL BOARD
AC ACROUSTICAL/ALTERNATING CURRENT	DIAM DIAMETER	GYM GYMNASIUM
ACP ACoustical PANEL	DISC DISCONNECT	GYS GYPSUM
ACT ACTUAL CEILING TILE	DIV DIVISION	H HIGH
ADD ADDITION	DK DECK	HOB HOSE BIBB
ADU ADJUSTABLE	DK'G DECKING	HOC HOLLOW CORE
AHM ABOVE FINISH FLOOR	DL DEAD LOAD	HDR HAND DRYER/HEAD
AGGR AGGREGATE	DM DOWN	HDR HANDSHOULDER
AL ALUMINUM	DO DOOR	HDW HARDWARE
ALT ALTERNATE	DOOR DOOR	HMD HOLLOW METAL
AND AND	DP DOWN PARTITION	HOR HORIZONTAL
AP ACCESS PANEL	DS DOWN SPOUT	HP HIGH POINT
APPROX APPROXIMATELY	DT DETAIL	HOR HORIZONTAL
AR ARCHITECT(URAL)	DWG DRAWING	HT HEIGHT
ASB ASBESTOS	DWL DOWN WALL	HVC HEATING & VENTILATING
ASPH ASPHALT	DWR DRAWER	HVC HEATING, VENTILATING & AIR CONDITIONING
AVE AVERAGE	DWT DOWN WALL	HVC HEATING & VENTILATING CONTRACTOR
B BULLET BOARD	EA EACH	HWC HOT WATER
B&B BALLED AND BURLAPPED	EC ELECTRICAL CONTRACTOR	HWC HEAVYWEIGHT CONCRETE
BR BRARY/READ	EF EACH FACE	HWH HOT WATER HEATER
BF BOTH FACES	EFF EFFICIENCY/EFFECTIVE	I INSIDE
BG BUMPER GUARD	EFIS EXTERIOR INSULATION AND FINISH SYSTEM	ID INSIDE DIAMETER
BT BIT	EJ EXPANSION JOINT	IE INVERT ELEVATION
BL BORROWED LITE	EL ELEVATION	IF INSIDE FACE
BLDC BUILDING	ELEC ELECTRICAL	IMP INSULATED METAL PANEL
BLK BLOCK	ELEV ELEVATION	INCL INCLUDE
BLKT BLANKET	ENCL ENCLOSURE	INSUL INSULATION
BLK/BLOCK BY OWNER	ENGR ENGINEER	INT INTERIOR
BO BOTTOM OF STEEL	ENT ENTRANCE	INVT INVERT
BOS BREAKER	EPDM ETHYLENE PROPYLENE DIENE MONOMER	IRMA INVERTED ROOF MEMBRANE ASSEMBLY
BRG BEARING	EQ EQUIPMENT	JAN JANITOR
BRK BRICK	ETR EXISTING TO REMAIN	JAN JANITOR BOX
BS BACK SPLASH	EW EACH WALL	JC JANITOR'S CLOSET
BSBD BASEBOARD	EWG ELECTRIC WATER COOLER	JST JOIST
BSMT BASEMENT	EX EXHAUST	JT JOINT
BTM BOTTOM	EXIST EXISTING	KD KILN DRIED/KNOCKED DOWN
BTU BRITISH THERMAL UNIT	EXPD EXPOSED	K or KP ONE THOUSAND POUNDS PER SQUARE FOOT
BWN BETWEEN	EXTD EXTENSION/EXTERIOR	KNOCK OUT
BUR BUR	FA FIRE ALARM/FORCED AIR/FRESH AIR	LAB LABORATORY
C CHANNEL/CONDUIT	FB FACE BRICK	LAD LADDER
CAB CABINET	FD FLOOR DRAIN/FIRE DOOR	LAW LAMINATED
CAV CAVITY	FE FLOOR FINISH	LAW LAMINATED
CB CATCH BASIN/CHALKBOARD/CORNER BEAD	FF FOUNDATION	LB LAMP
C/C CENTER TO CENTER	FE FIRE EXTINGUISHER	LB FOUND
CEM CEMENT	FECE FIRE EXTINGUISHER CABINET	LD LOAD
CER CERAMIC	FEL FIBERGLASS	LIN LINEAR
CF CONTRACTOR FURNISHED, OWNER INSTALLED	FL FLOOR	LIR LIQUID
CG CAST IRON	FLX FLEXIBLE	LKR LOCKER
CH CHANNEL/CONDUIT	FLNG FLASHING	LL LONG LEAD VERTICAL
CI CAST IRON	FLR FLOOR	LMR LUMBER
CJ CONTROL JOINT	FLR FLOORING	LNT LINTEL
CL CENTER LINE	FLR FLOORING	LP LOW POINT
CLG CEILING	FLR FLOORING	LS LONG SPAN JOIST
CLD CLOSURE	FLR FLOORING	LT LIGHT
CLOS CLOSET	FLR FLOORING	LV LOCKER
CMU CONCRETE MASONRY UNIT	FLR FLOORING	LWC LIGHTWEIGHT CONCRETE
CMPT COMPARTMENT	FLR FLOORING	MACH MACHINE
CONC CONCRETE	FLR FLOORING	MAR MARBLE
CONF CONFERENCE	FR FRAMING	MAS MASONRY
CONN CONNECT(ION)	FRB FIBERGLASS REINFORCED POLYESTER	MATL MATERIAL
CONSTR CONSTRUCTION	FS FULL SIZE/FULL SCALE	MAS MASONRY
CONT CONTINUOUS	FT FEET/FOOT	MW 1,000 BTU/HR
CONTR CONTRACTOR	FT FEET/FOOT	MW MASONRY BEARING WALL
COB CORNER	FT FEET/FOOT	MC MEDICINE CABINET
COBR CORNER/CORRUGATED COVER	FT FEET/FOOT	MECH MECHANICAL
COV COVER	FURN FURNISH(ED)	MEMB MEMBRANE
CP CONTROL PANEL	FUR FURNITURE	MEZZ MEZZANINE
CR CABINET	FUR FURNITURE	MFG MANUFACTURING
CR CHAIR RAIL/COAT RACK/COLD ROLLED	FUT FUTURE	MFR MANUFACTURER
CS CASING	PVC FIRE VALVE CABINET	MFG MANUFACTURING
CSG CONSTRUCTION JOINT	GA GAGE	MH MANHOLE
CT CERAMIC TILE	GAL GALLON	MIR MIRROR
CTR CENTER/COUNTER	GALV GALVANIZED	MIS MISCELLANEOUS
CTSK COUNTERSINK	GB GRAB BAR	MK MARK
CW CUP	GC GENERAL CONTRACTOR	ME METAL LATH
CU COLD WATER	GI GALVANIZED IRON	MEL MELTING
CYL CYLINDER	GL GLASS	MELW MILLWORK
D PENNY	GLZ GLAZING	MOP MASONRY OPENING
D DEPTH	GM GAS METER	MORT MORTAR
DBL DOUBLE	GMU GYPSUM MASONRY UNIT	MTR MOUNTED
DC DIRECT CURRENT	GPL GYPSUM LATH	

SYMBOLS & CONVENTIONS

(1=1)

	DRAWING NORTH (SEE SITE PLAN FOR TRUE NORTH)		DIRECTION OF CUT - DRAWING NUMBER
	METAL STUD WALL		BUILDING SECTION REFERENCE - SHEET NUMBER ON WHICH DRAWING WILL BE FOUND
	EXISTING WALL TO REMAIN		SECTION DETAIL REFERENCE
	EXISTING ITEMS TO BE REMOVED		WALL SECTION REFERENCE
	WINDOW		PLAN DETAIL REFERENCE
	DOOR & DOOR NUMBER		INTERIOR ELEVATION REFERENCE
	EXISTING DOOR TO REMAIN		WALL TYPE REFERENCE
	COLUMN GRID		KEYED NOTE
	OFFICE		ELEVATION MARKER
	ROOM NAME & NUMBER		COMMUNICATION OUTLET
	DWG BLOCK TITLE		TELEPHONE
	REVISION		DUPLEX OUTLET
	DETAIL		2x4 FLUSH FLUOR IN 2x4 CLG GRID
	OUTLINES AREA AFFECTED BY REVISION		CLG HEIGHT ROOM NO
	FIN FL		
	EL = 100'-0"		

MATERIAL LEGEND

(1=1)

	EARTH
	SAND, PLASTER, GROUT
	GRAVEL
	CONCRETE
	PRECAST CONCRETE
	CONCRETE BLOCK
	BRICK
	TERRAZZO
	RIGID INSULATION
	BATT INSULATION
	STEEL
	GYPSUM WALLBOARD
	WOOD, FINISHED
	WOOD BLOCKING
	WOOD SHIM
	FLYWOOD
	ACOUSTICAL PANELS
	CUT LIMESTONE
	SEALANT
	COMPRESSIBLE FILLER

PRINCIPALS

(1=1)
CONTRACTOR
 REDMOND CONSTRUCTION
 W228 N727 WESTMOUND DRIVE
 WAUKESHA, WISCONSIN 53186
 (414) 549-9600 FAX (414) 549-1725

BUILDING OWNER
 GUARANTY BANK
 4000 W BROWN DEER ROAD
 BROWN DEER, WISCONSIN 53209-1221
 (414) 362-4787 FAX (414) 362-4888

ARCHITECT
 AE-3 LTD.
 205 W. HIGHLAND AVENUE, SUITE 302
 MILWAUKEE, WISCONSIN 53203
 (414) 276-8375 FAX (414) 276-8448

STRUCTURAL ENGINEER
 AE-3 LTD.
 205 W. HIGHLAND AVENUE, SUITE 302
 MILWAUKEE, WISCONSIN 53203
 (414) 276-8375 FAX (414) 276-8448

PLUMBING ENGINEER
 PROTEL MECHANICAL CONTRACTORS, INC
 1790 S JOHNSON ROAD
 NEW BURLIN, WISCONSIN 53146
 (414) 549-8709 FAX (414) 549-8488

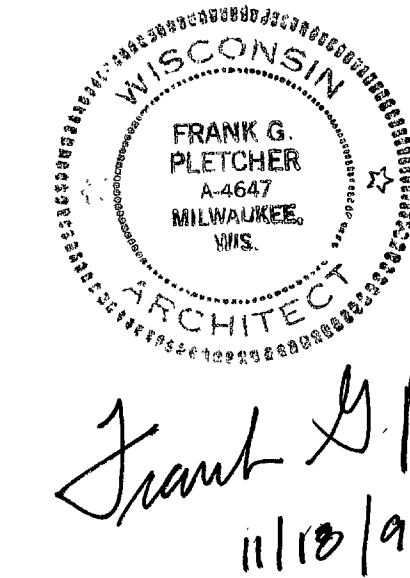
HVAC ENGINEER
 PROTEL MECHANICAL CONTRACTORS, INC
 1790 S JOHNSON ROAD
 NEW BURLIN, WISCONSIN 53146
 (414) 549-8712 FAX (414) 545-8481

ELECTRICAL ENGINEER
 SPECTRUM ELECTRIC, INC.
 9730E GRANVILLE ROAD
 MEQUON, WISCONSIN 53097
 (414) 242-9790 FAX (414) 242-9763

SHEET INDEX

(1=1)

NO.	NAME
	COVER SHEET
A0	GENERAL INFORMATION
D1	EXISTING/DEMO FLOOR PLAN
A1	FLOOR PLAN
A2	REFLECTED CEILING PLAN
A3	FURNITURE PLAN
A4	ROOM FINISH SCHEDULE
	DOOR SCHEDULE
A5	EXISTING FLOOR PLAN
HV1	HVAC FLOOR PLAN
E1	ELECTRICAL DEMO PLAN
E2	ELECTRICAL LIGHTING PLAN
E3	ELECTRICAL POWER PLAN



Frank G. Pletcher
 11/13/98

PROJECT

GUARANTY BANK
 4000 W BROWN DEER ROAD
 BROWN DEER, WISCONSIN

PROJECT TYPE

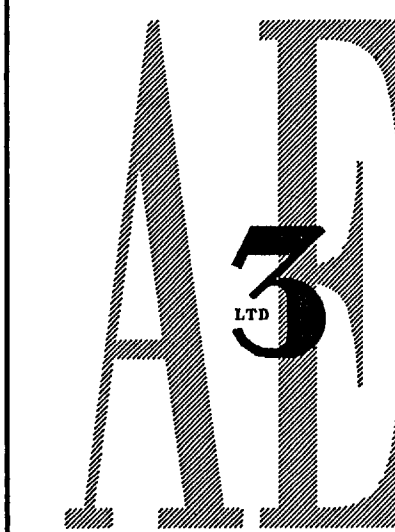
LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

GENERAL INFORMATION		SHEET
MISC. INFO	DATE: 11/13/98	
PROJECT NO. 98047		
		A0



ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

205 W. HIGHLAND AVENUE
MILWAUKEE, WI 53203
FAX: 414/276-8448
PHONE: 414/276-8376

PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

- EXISTING WALL TO REMAIN
PATCH AND REPAIR AS/IF
REQUIRED TO LOOK LIKE NEW
- EXISTING ITEM TO BE REMOVED
PATCH SURROUNDING AREA
AS/IF REQUIRED

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

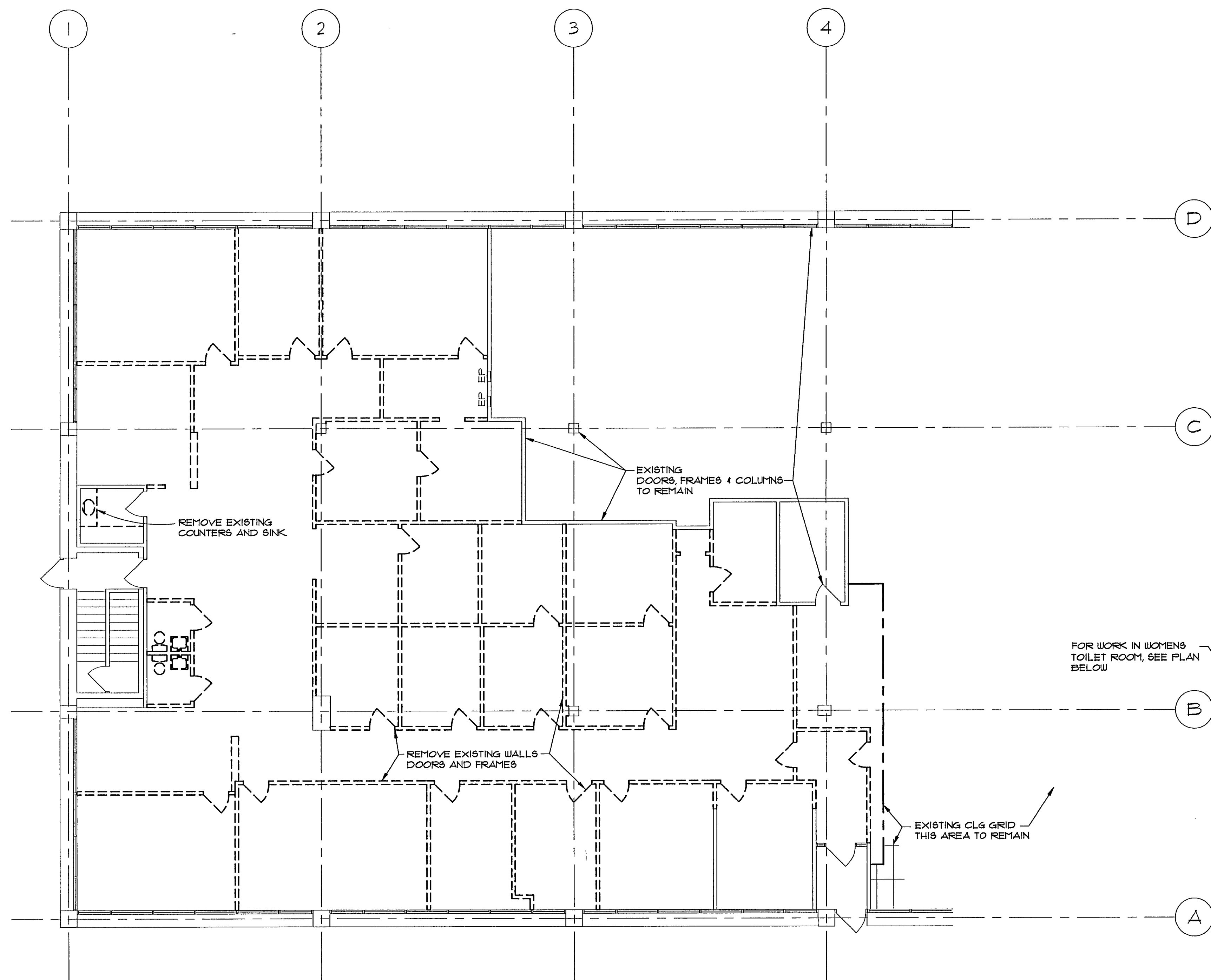
EXISTING/DEMO FLOOR PLAN

MISC. INFO

DATE: 11/13/98
PROJECT NO. 98047

SHEET

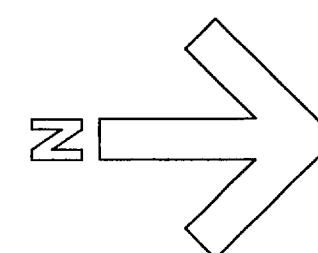
D1



NOTE: ALL DOORS AND FRAMES SHALL BE REMOVED, TAGGED, AND STOCK PILED UNLESS RELIEF IN NEW LOCATION CONTRACTOR SHALL PROVIDE ALL NECESSARY SHIMS, BLOCKING, TRIM AND HARDWARE. PATCH AND REFINISH TO MATCH EXISTING NEW TENANT AREA.

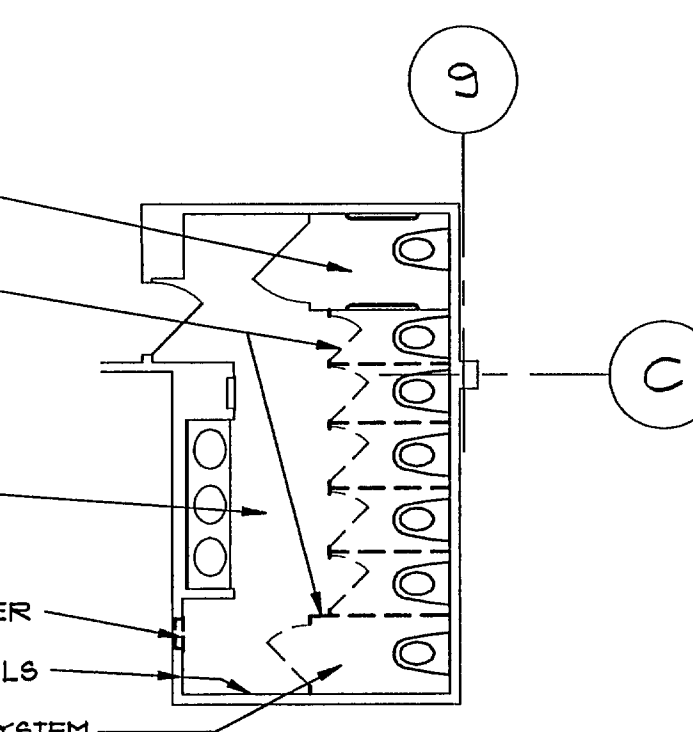
EXISTING/DEMO FLOOR PLAN

1/8" = 1'-0" D1



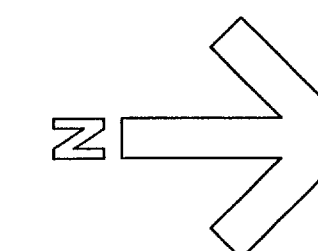
FOR WORK IN WOMENS TOILET ROOM, SEE PLAN BELOW

- THIS STALL AND GRAB BARS TO REMAIN AS IS
- REMOVE PARTITIONS FROM THESE 6 STALLS
- REMOVE 2x4 CLG TILE (NOT GUEB OR EGG CRATE CEILING)
- REMOVE CERAMIC TILE FLOOR AND BASE (NOT CT ON N WALL)
- REMOVE NAPKIN DISPENSER
- REMOVE VAC, S, E & W WALLS
- REMOVE 2x4 LAYIN CLG SYSTEM



WOMENS PLAN

1/8" = 1'-0" A1





ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

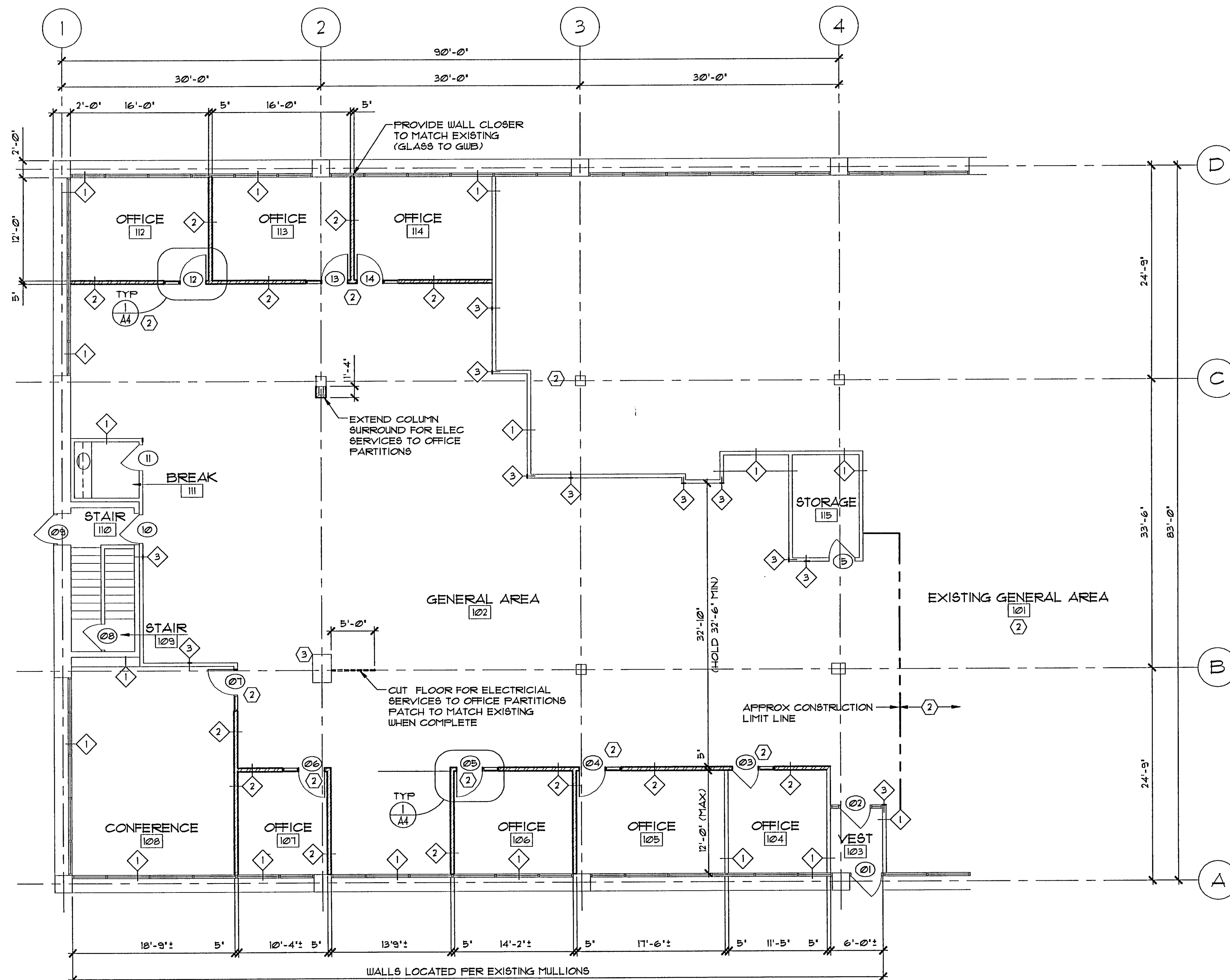
205 W. HIGHLAND AVENUE
MILWAUKEE, WI 53203
FAX: 414/276-8448
PHONE: 414/276-8375

WALL TYPES

- FLRPLN
- ① EXISTING WALL TO REMAIN. PATCH AS REQUIRED SO APPEARANCE MATCHES NEW.
 - ② 3 5/8" METAL STUDS AT 16" OC WITH 5/8" GYPSUM WALLBOARD BOTH SIDES. STUDS GO FLOOR TO STRUCTURE ABOVE. GWB FROM FLOOR TO 4" MIN ABOVE CEILING. PROVIDE 4" SOUND BLANKET FLOOR TO 4" MINIMUM ABOVE CEILING.
 - ③ PATCH EXISTING WALL AS REQUIRED WHERE ANOTHER EXISTING WALL WAS REMOVED. APPEARANCE TO MATCH NEW.

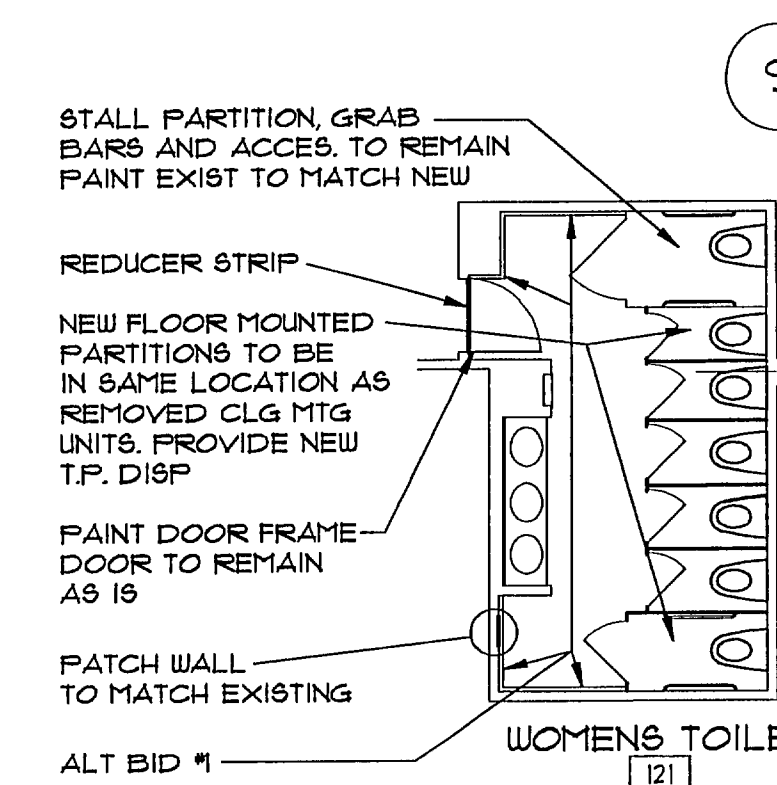
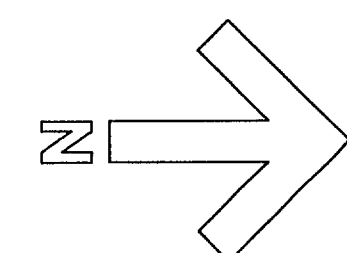
KEYED NOTES

- FLRPLN
- ① SEE SHEET A4 FOR DOOR & SIDELIGHT DETAILS
 - ② THIS AREA NOT IN CONTRACT UNLESS NOTED OTHERWISE OR UNLESS REQUIRED DUE TO WORK IN CONTRACT AREA. (WOMENS TOILET ROOM IN CONTRACT)
 - ③ MAKE COLUMN 2B AS SMALL AS POSSIBLE. KEEP A RECTANGULAR SHAPE.



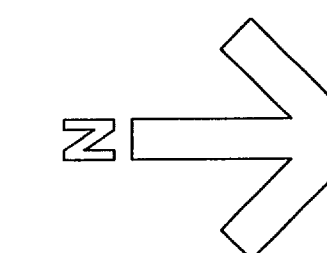
FLOOR PLAN

1/8" = 1'-0" AI



WOMENS PLAN

1/8" = 1'-0" AI



- PROVIDE ALT. BID FOR:
- #1 CHAIR RAIL. FURNISH AND INSTALL A 3" WIDE CORIAN CHAIR RAIL AT THE EAST AND WEST WALLS AS SHOWN ON THE PLAN
 - #2 AUTO FLUSH VALVES. FURNISH AND INSTALL AUTOMATIC FLUSH VALVES FOR ALL 7 TOILETS. REMOVE EXISTING.
- ASK OWNER IF EX. PARTITIONS ARE TO BE SAVED.

PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

FLOOR PLAN

MISC. INFO

DATE: 11/13/98
PROJECT NO. 98047

SHEET

A1



ARCHITECTS ■ ENGINEERS
 ■ CONSTRUCTION MANAGERS
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 MILWAUKEE, WI 53203
 FAX: 414/276-8448
 PHONE: 414/276-8376

PROJECT

GUARANTY BANK
 4000 W BROWN DEER ROAD
 BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

- △ COMMUNICATION OUTLET
- △ TELEPHONE
- ⊕ DUPLEX OUTLET
- ☐ REMOVE & REUSE 2x4 FLUSH FLUOR IN 2x4 CLG GRID
- ▨ SUPPLY GRILLES
- ▨ EXISTING CEILING TILE & GRID
- 9'-6" [101] CLG HEIGHT ROOM NO
- LIGHTS SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR (FINAL LOCATION TO BE DETERMINED AFTER FURNITURE PLAN IS FINALIZED)

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

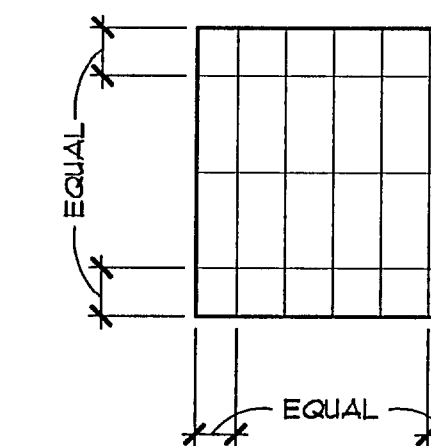
REFLECTED CEILING PLAN

MISC. INFO

DATE: 11/13/98
 PROJECT NO. 98047

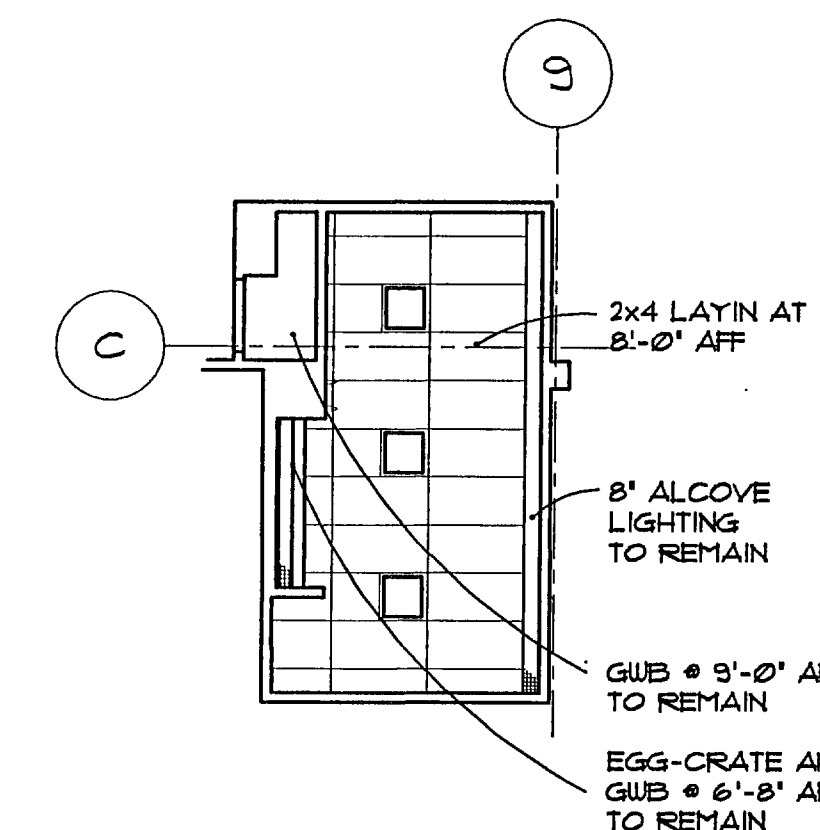
SHEET

A2



TYP CLG GRID LAYOUT

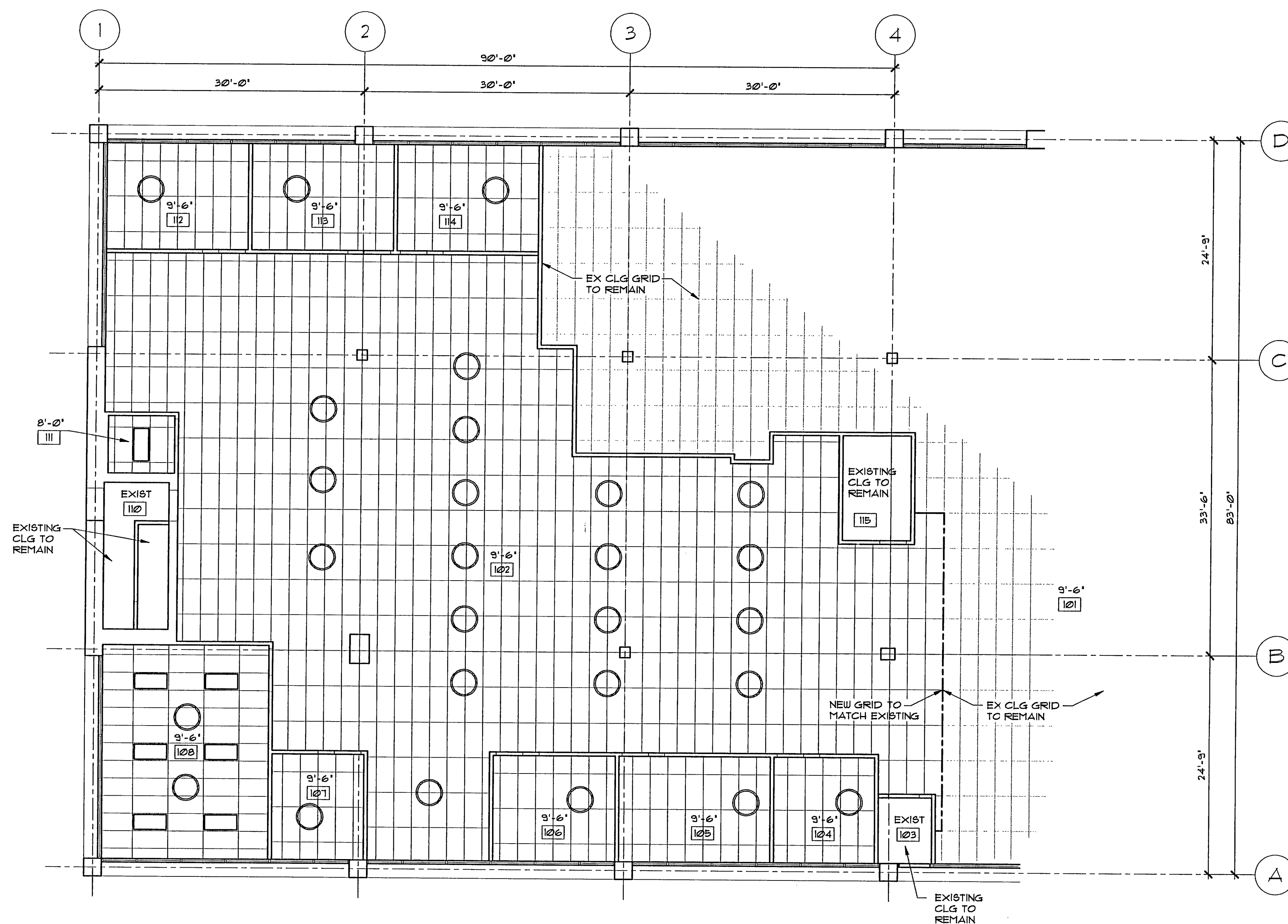
1/8" = 1'-0" A2



REFLECTED CLG WOMENS TOILETS FIRST FLOOR (EXISTING ROOM)

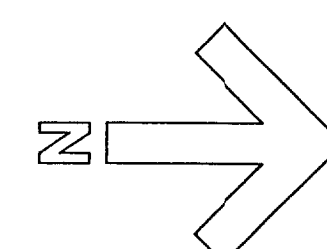
WOMENS TOILET

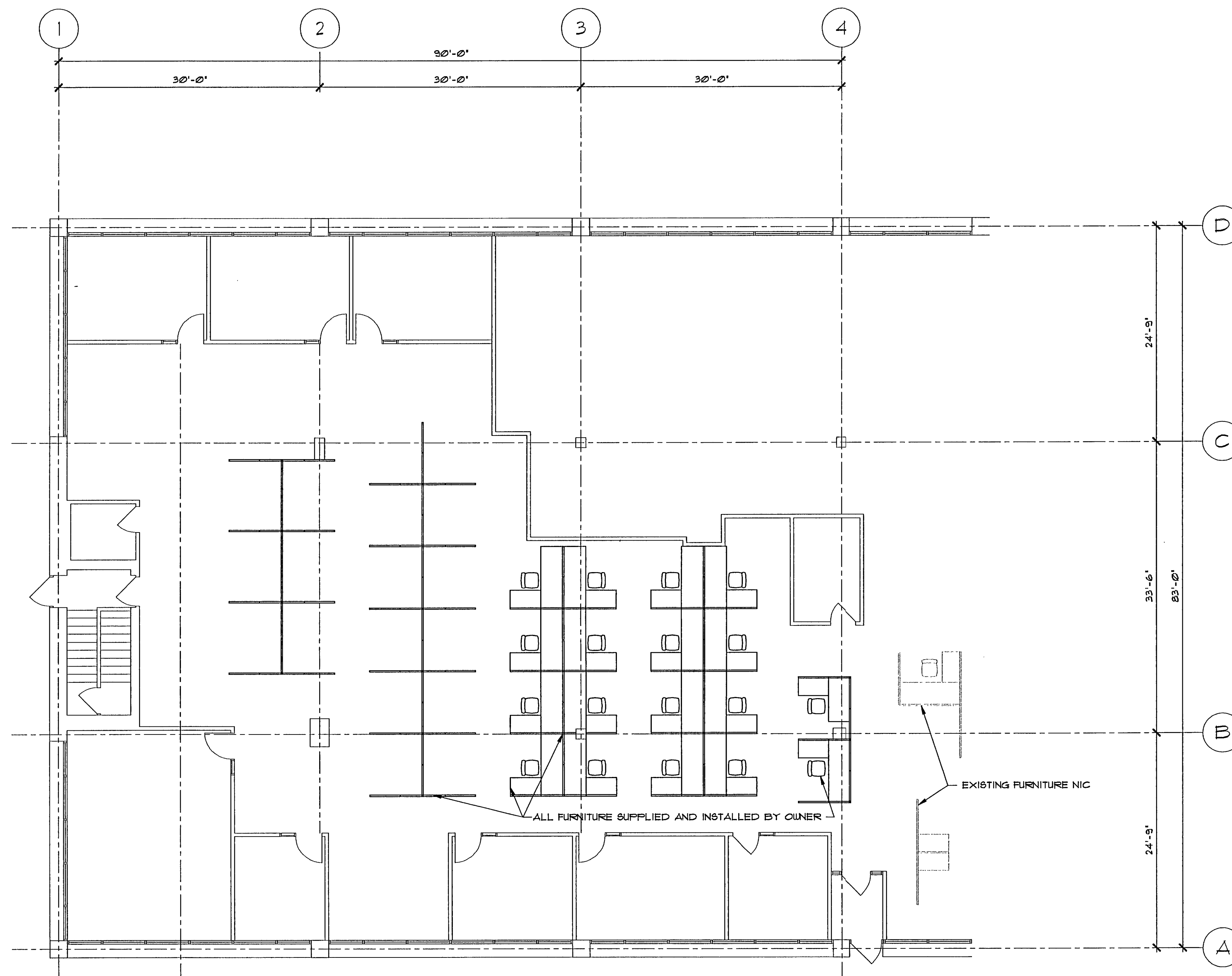
1/8" = 1'-0" A2



REFLECTED CEILING PLAN

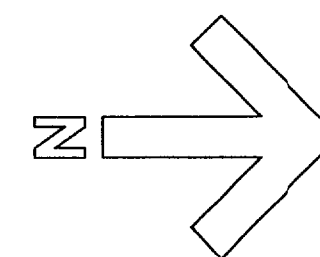
1/8" = 1'-0" A2





FURNITURE PLAN

1/8" = 1'-0" FURNPLAN



A3
LTD
ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

205 W. HIGHLAND AVENUE
MILWAUKEE, WI 53203
FAX: 414/278-8448
PHONE: 414/278-8376

PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

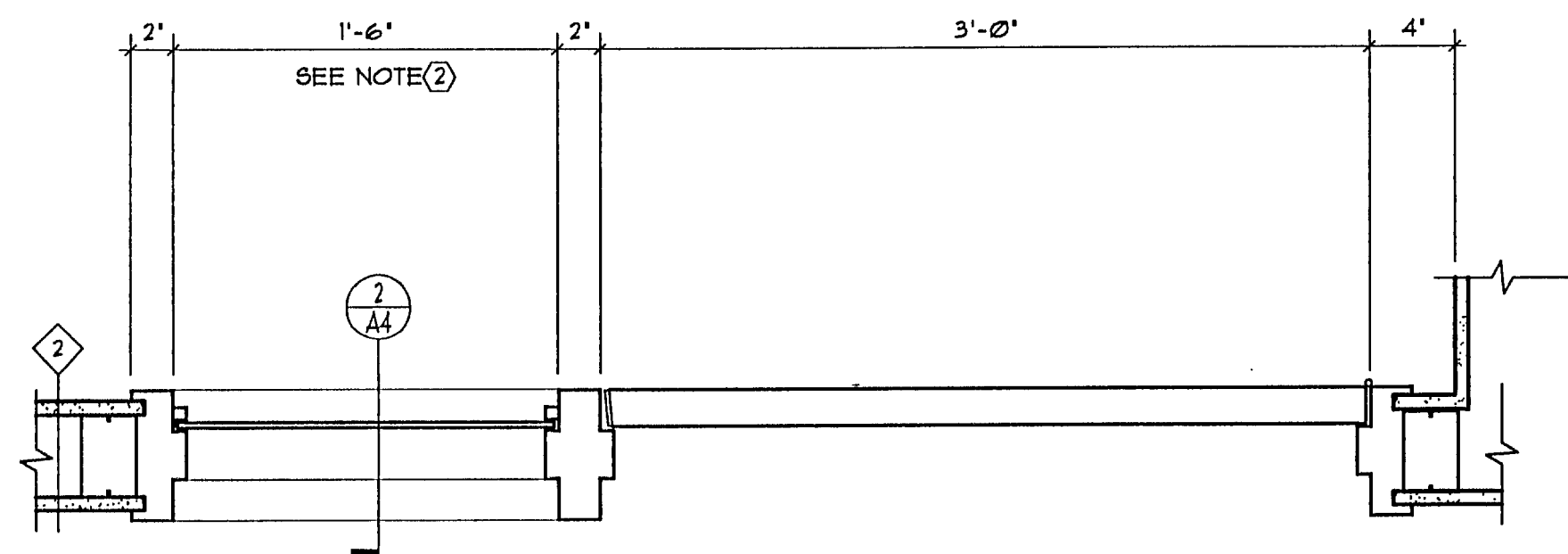
FURNITURE PLAN

MISC. INFO

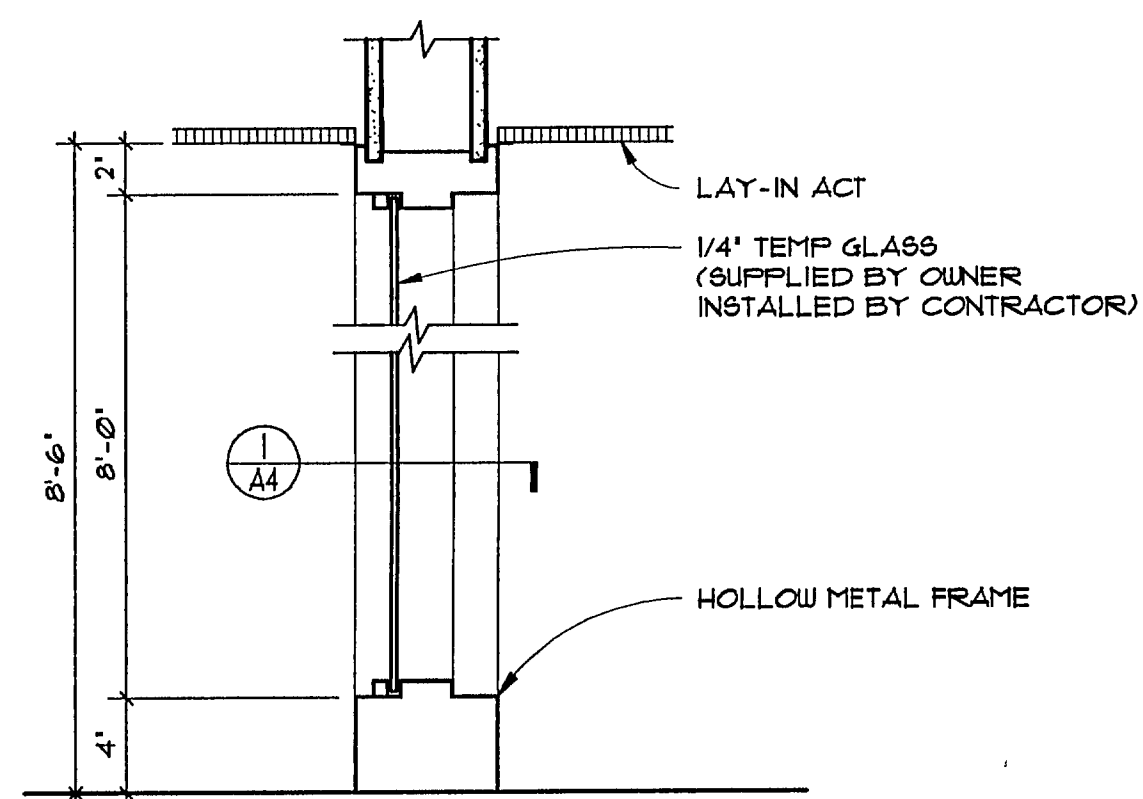
DATE: 11/13/98
PROJECT NO. 98047

SHEET

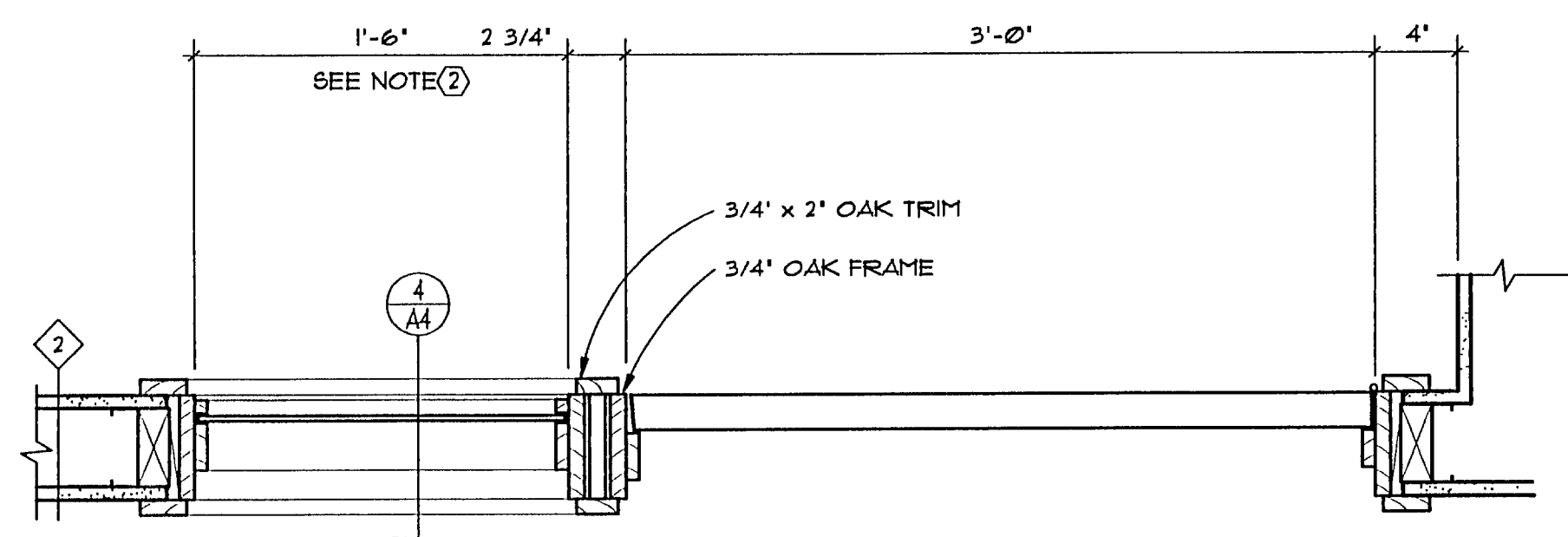
A3



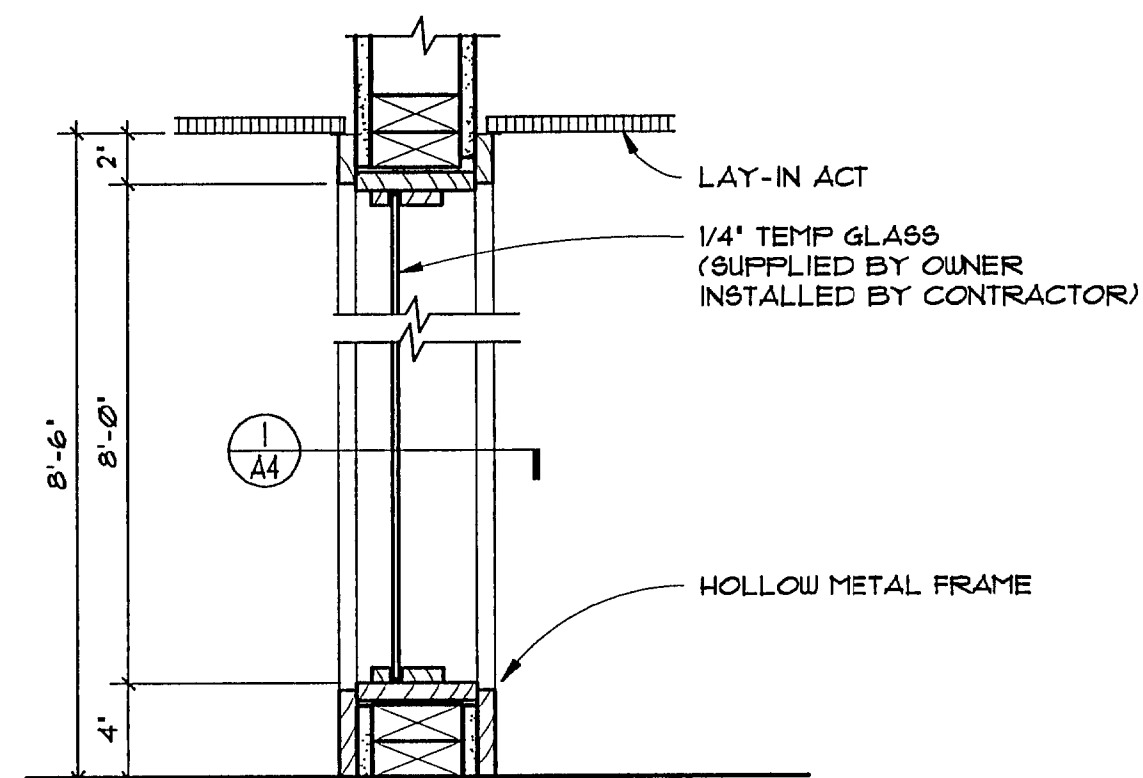
1
A4
HOLLOW METAL - DOOR @ SIDELIGHT
1 1/2' x 1'-0"



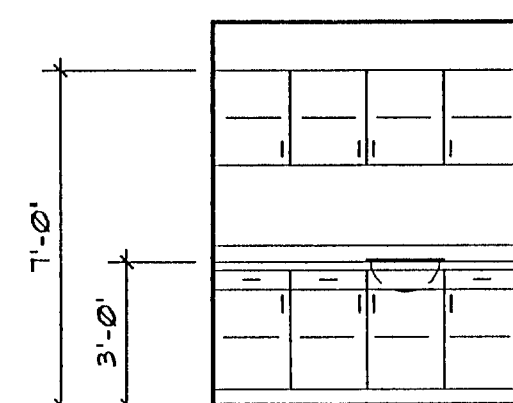
2
A4
SECTION @ HM SIDELIGHT
1 1/2' x 1'-0"



3
A4
WOOD - DOOR @ SIDELIGHT
1 1/2' x 1'-0"

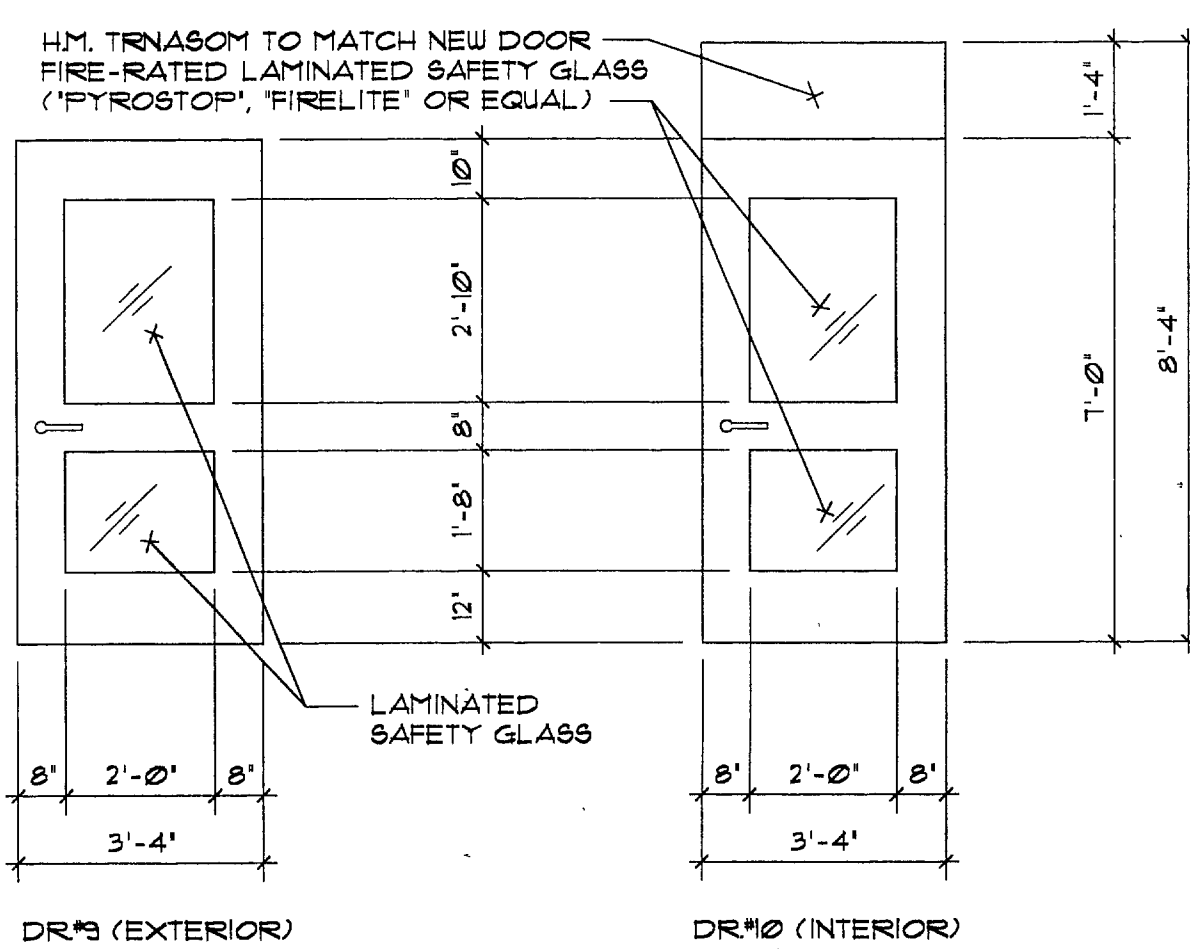


4
A4
SECTION @ WOOD SIDELIGHT
1 1/2' x 1'-0"

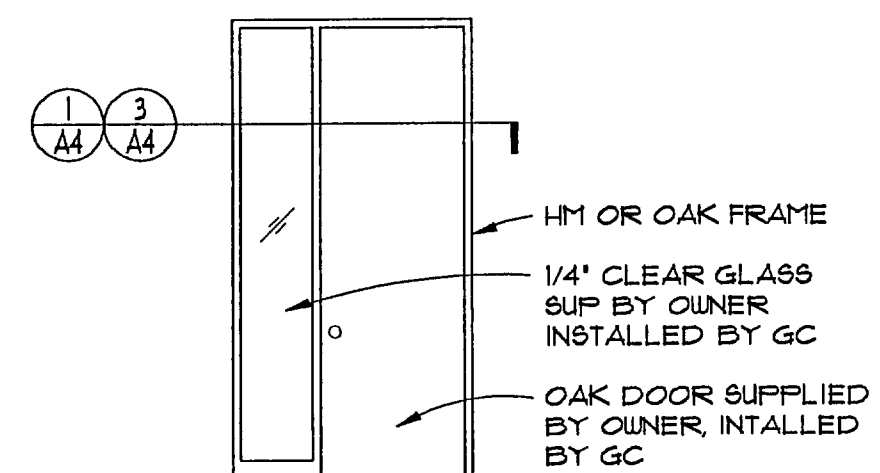


REMOVE EXISTING CABINETS. PROVIDE NEW LAM PLASTIC FINISHES (ALL SURFACES) CABINETS WITH PLASTIC PULLS, TRICOVE TOP AND CONCEALED HINGES

5
A4
EL OF S WALL - BREAK ROOM 111
1/4' x 1'-0"



6
A4
NEW DOORS @ NOS. 9 & 10
NTS.



FRAME TYPE A

ROOM FINISH SCHEDULE [3]

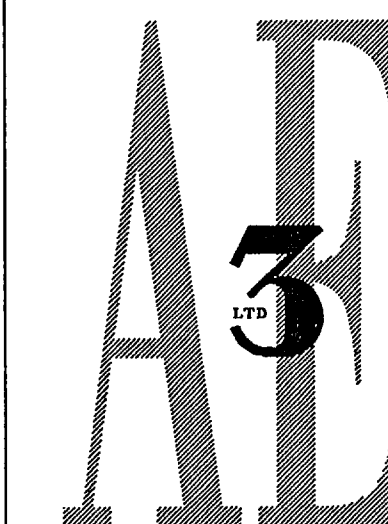
NO.	ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CLG.	CLG. HT.	REMARKS
101	EXIST GENERAL AREA	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	[1]
102	GENERAL AREA	CARPET	VINYL	GLUB/PT	GLUB/PT	GLUB/PT	GLUB/PT	ACT	9'-6"	[2]
103	VESTIBULE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
104	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
105	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
106	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
107	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
108	CONFERENCE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
109	STAIR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
110	STAIR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
111	BREAK	V&P	VINYL	VUC	VUC	VUC	VUC	ACT	8'-0"	
112	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
113	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
114	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	9'-6"	
115	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
116-120	[4]	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
121	WOMENS TOILET	[5]	[5]	[6]	[6]	[6]	[6]	[7]	[7]	

- [1] EXISTING GENERAL AREA. WORK THIS AREA NIC UNLESS OTHERWISE NOTED, OR REQUIRED TO FINISH CONTRACT WORK.
- [2] GENERAL AREA. WORK THIS AREA TO MATCH EXISTING GENERAL AREA UNLESS OTHERWISE NOTED.
- [3] ALL MATERIALS, FINISHES, ETC. TO MATCH EXISTING UNLESS OTHERWISE NOTED.
- [4] EXISTING ROOM - NIC
- [5] REMOVE EXISTING CERAMIC TILE FLOOR & BASE. PROVIDE 12x12 TILE FLOOR AND BASE TO MATCH LOBBY
- [6] REMOVE EXISTING VUC, PROVIDE NEW VUC ON E, S, & W WALLS. CERAMIC TILE ON NORTH WALL TO REMAIN AS IS. PATCH AS REQUIRED WHERE PARTITIONS WERE REMOVED OR AS NEEDED DUE TO NEW CONSTRUCTION.
- [7] REMOVE EXISTING 2x4 CEILING @ 8'-0" AFF. PROVIDE NEW 2x4 @ 8'-0". SEE REFL. CLG. PLAN FOR MORE INFO.

DOOR SCHEDULE

DR. NO.	SIZE	DOOR (4)					FRAME				REMARKS
		TYPE	MATERIAL	GL/SIDELT	GRILL	FINISH	TYPE	MATERIAL	DETAIL		
01	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC	
02	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC	
03	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
04	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
05	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
06	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
07	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
08	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC	
09	3'-4" x 1'-0"	FLUSH	H.M.	(5)	NA	(6)	EXIST	EXIST	6/A4	EXTERIOR	
10	3'-4" x 8'-4"	FLUSH	H.M.	(5)	NA	(6)	EXIST	EXIST	6/A4	1 1/2 HR (7)	
11	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC	
12	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
13	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
14	36x112x1 3/4	FLUSH	SC WOOD (2)	NA	S4V	A	(1)	(1)	(1)	OR 3/A4	
15-21	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC	

- NOTES:
- (1) CONTRACTOR MAY SUPPLY AND INSTALL HOLLOW METAL OR WOOD FRAMES.
 - (2) ALL WOOD BLOKING TO BE FIRE RETARDANT
 - (3) SEE DETAIL 6/A4
 - (4) REUSE ALL EXISTING OAK DOORS. GC TO REPAIR AND REFINISH, AND SUPPLY NEW HARDWARE
 - (5) 1'-6" SIDELIGHT MAY VARY. CONFIRM SIZE OF OWNER FINISHED GLASS BEFORE BUILDING FRAME
 - (6) PRIME & PAINT TO MATCH EXISTING FRAME
 - (7) 1 1/2 HR RATED HARDWARE



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PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

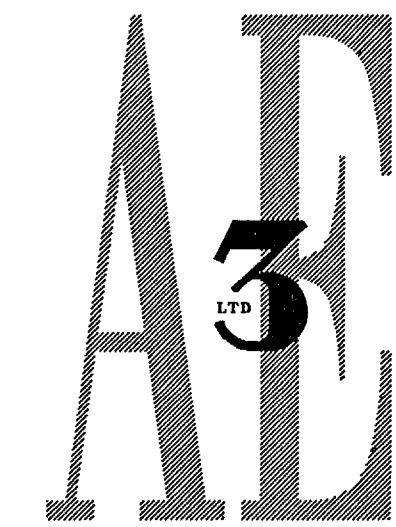
ROOM FINISH SCHEDULE
DOOR SCHEDULE
DETAILS

MISC. INFO

DATE: 11/13/98
PROJECT NO. 98047

SHEET

A4



ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

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PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

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SHEET CONTENTS

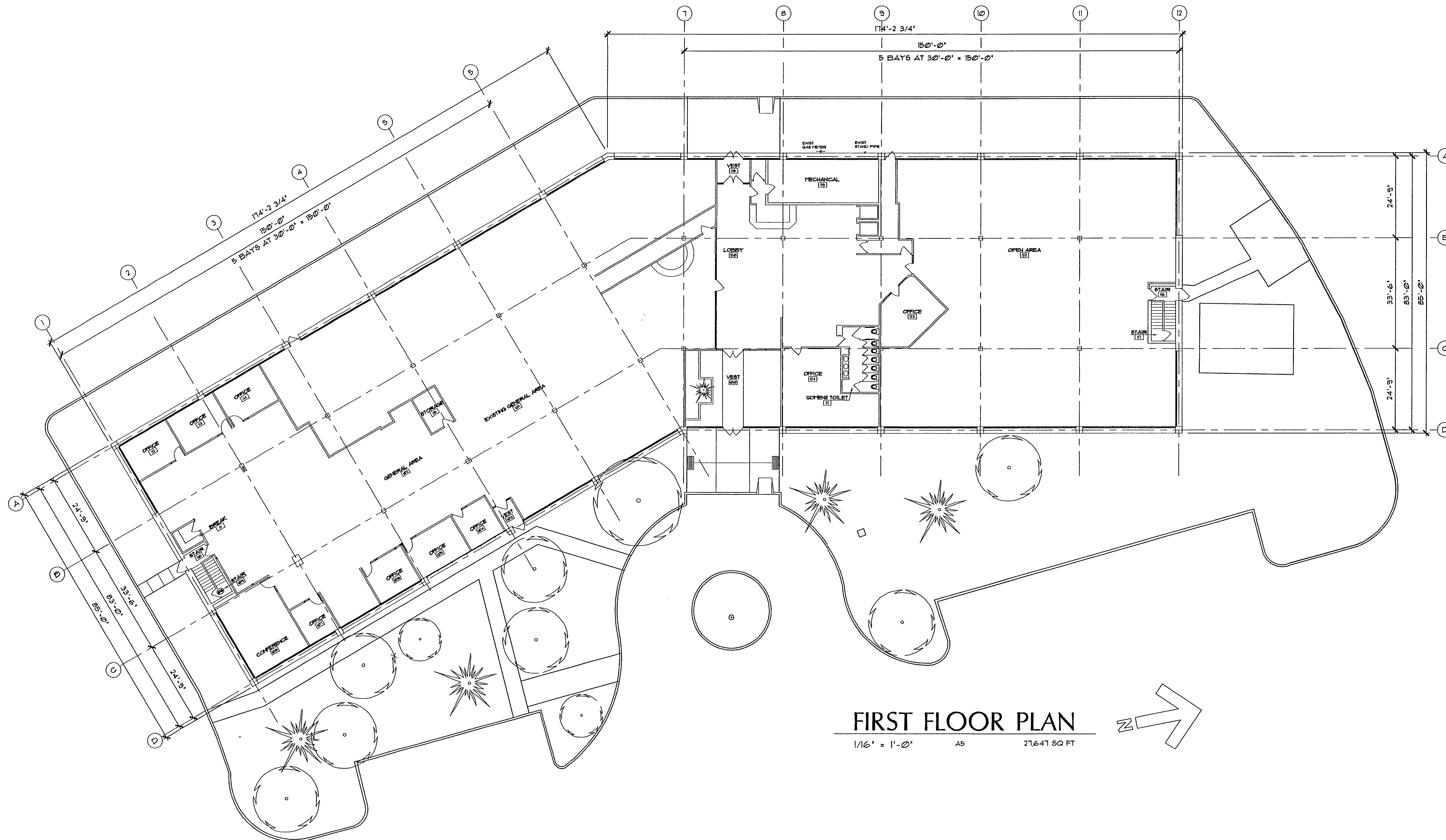
FIRST FLOOR PLAN

MISC. INFO

DATE: 11/13/98
PROJECT NO. 98047

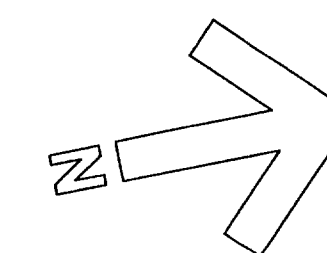
SHEET

A5



FIRST FLOOR PLAN

1/16" = 1'-0" AB 216'4 1/8" 111'2 3/4"





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PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST

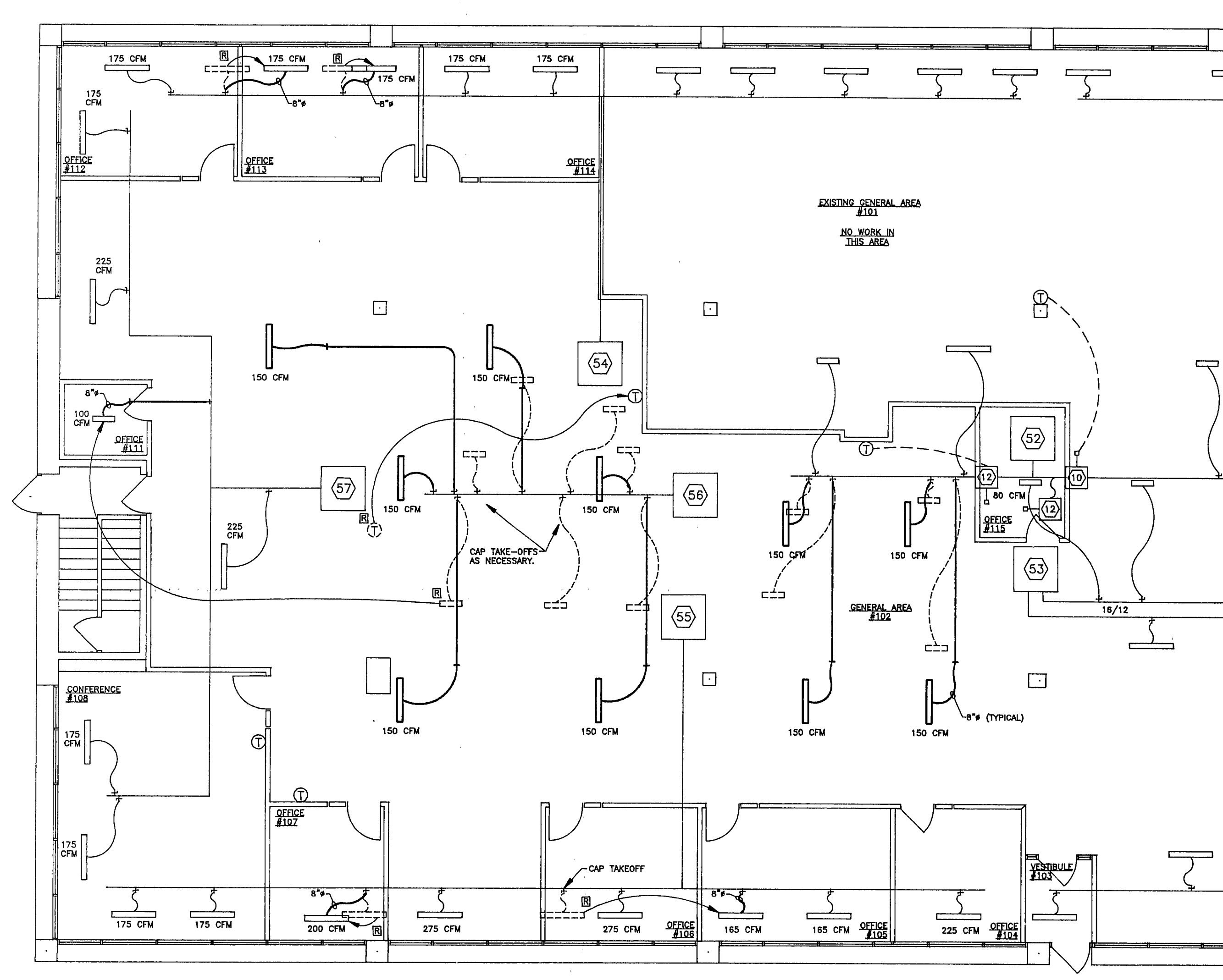
SHEET CONTENTS

FLOOR PLAN

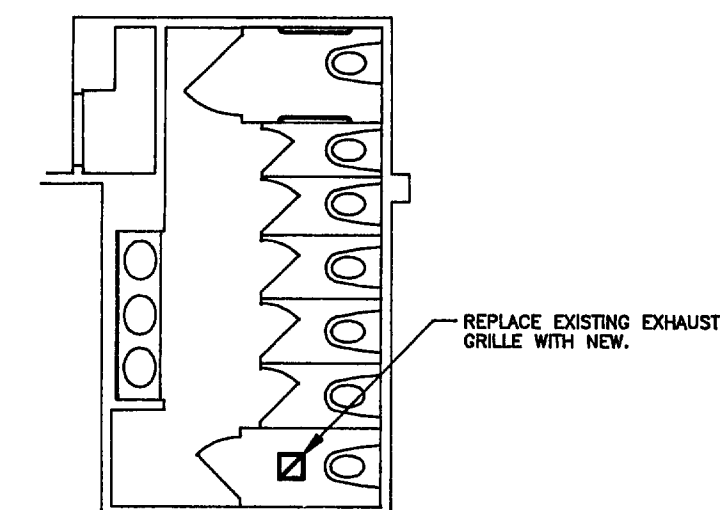
MISC. INFO SHEET

DATE: 10/28/98
PROJECT NO. 98047

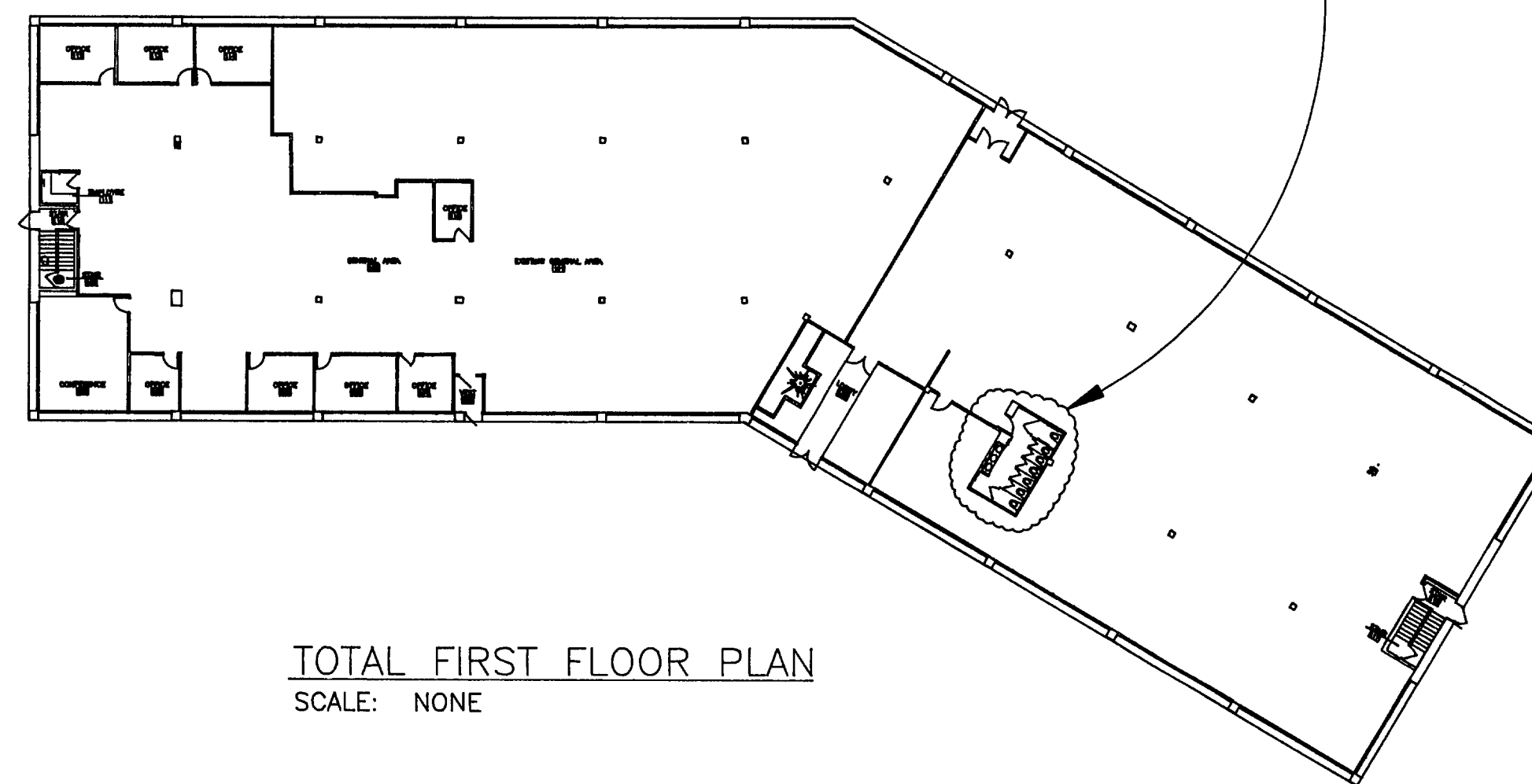
HV 1



PARTIAL FIRST FLOOR HVAC PLAN
SCALE: 1/8" = 1'-0"

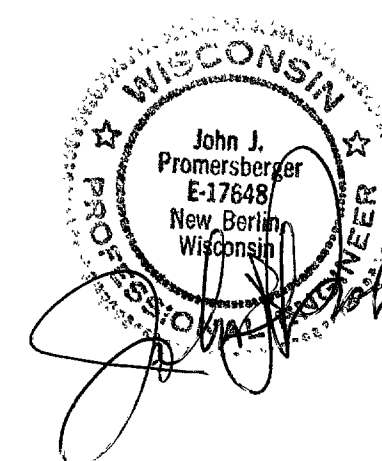


WOMENS PLAN
SCALE: 1/8" = 1'-0"



TOTAL FIRST FLOOR PLAN
SCALE: NONE

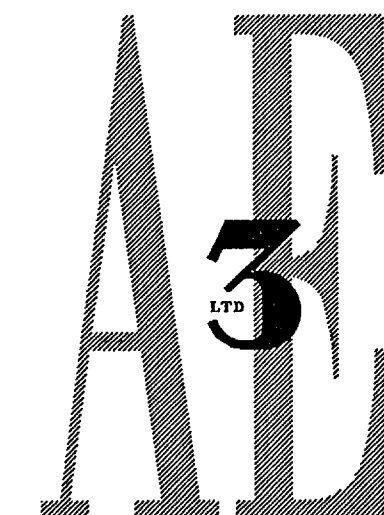
HVAC NOTES:
-ALL WORK TO CONFORM TO STATE AND LOCAL CODES.
-ALL DUCTWORK TO BE INSTALLED AND FABRICATED IN ACCORDANCE WITH SMACNA LOW PRESSURE DUCT CONSTRUCTION STANDARDS.
-NEW 4" SLOT DIFFUSERS AS SHOWN BY THE BOLD LINE TYPE.
-FIELD VERIFY SIZES OF HEAT PUMPS AND EXACT DUCT LOCATIONS. (DIMENSIONS PREPARED FROM ARCHIVED DRAWINGS).
-CONFIRM THERMOSTAT LOCATIONS WITH OWNER.
-EXISTING FRESH AIR DUCT ABOVE CEILING TO REMAIN AS IS.
-REPRESENTS "RELOCATE ITEM".
-REPLACE EXISTING EXHAUST GRILLE WITH NEW, FIELD VERIFY LOCATION AND SIZE.



PRO-TEL INC.
Mechanical Contractors
PLUMBING • HEATING • COOLING • SHEET METAL
1720 SOUTH JOHNSON ROAD P.O. BOX 510080 NEW BERLIN, WI 53151-0080 PHONE (414) 844-6364

Scale: 1/8"=1'-0" Date: 11/13/98
Name: GUARANTY BANK
Job Number: 98-603

Approved By: _____
Designed By: J.A.
Checked By: B.S.
Drawing Number: HVAC 1 OF 1



ARCHITECTS ■ ENGINEERS
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PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

EXISTING/DEMO FLOOR PLAN

MISC. INFO

DATE: 11/13/98
PROJECT NO. 98047

SHEET

E1

LEGEND

OUTLETS

- ⊕ DUPLEX RECEPTACLE (120 VOLT)
- ⊕ WEATHERPROOF RECEPTACLE
- ⊕ GROUND FAULT RECEPTACLE
- ⊕ ISOLATED GROUND RECEPTACLE
- ⊕ DOUBLE DUPLEX RECEPTACLE
- ⊕ CLOCK RECEPTACLE
- ⊕ FLOOR RECEPTACLE, DUPLEX
- ⊕ SPECIAL EQUIPMENT RECEPTACLE
- ⊕ TELEPHONE OUTLET
- ⊕ FAX OUTLET
- ⊕ FLOOR TELEPHONE OUTLET
- ⊕ DATA OUTLET
- ⊕ TELEPHONE POLE
- ⊕ CEILING JUNCTION BOX
- ⊕ WALL JUNCTION BOX
- ⊕ JUNCTION BOX WITH FLEX PIGTAIL
- ⊕ FULL JUNCTION BOX

SWITCHES

- ⊕ SINGLE-POLE SWITCH
- ⊕ DOUBLE-POLE SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ SWITCH WITH PILOT LIGHT
- ⊕ COMB. SWITCH/DUPLEX RECEPTACLE
- ⊕ MANUAL MOTOR SWITCH (AS REQ'D)
- ⊕ LOW-VOLTAGE SWITCH
- ⊕ KEY SWITCH
- ⊕ WEATHERPROOF SWITCH
- ⊕ MOTION DETECTOR SWITCH
- ⊕ DIMMER SWITCH (WATTAGE SHOWN)

MECHANICAL

- ⊕ MOTOR AND CONNECTION, AS NOTED
- ⊕ ELECTRIC BASEBOARD HEATER
- ⊕ ELECTRIC CABINET HEATER
- ⊕ ELECTRIC WATER HEATER
- ⊕ PADDLE FAN

FIXTURES

- ⊕ SURFACE FLUOR. FIXTURE W/BOX
- ⊕ RECESSED FLUORESCENT FIXTURE
- ⊕ FLUORESCENT STRIP FIXTURE W/BOX
- ⊕ NIGHT LIGHT (on 24 hours)
- ⊕ FIXTURE ON EMERGENCY CIRCUIT
- ⊕ RECESSED DOWNLIGHT
- ⊕ RECESSED WALLWASHER
- ⊕ SPOTLIGHT (number of heads shown)
- ⊕ KEYLESS LAMPHOLDER
- ⊕ FULLCHAIN LAMPHOLDER
- ⊕ EXIT FIXTURE (arrow indicates number of faces)
- ⊕ EXIT FIXTURE, WALL MOUNTED
- ⊕ INCANDESCENT WALL BRACKET
- ⊕ INCANDESCENT CEILING MOUNTED LIGHT TRACK
- ⊕ LIGHT TRACK FIXTURE
- ⊕ NEMA TYPE I POLE MTD. FIXTURE
- ⊕ NEMA TYPE II POLE MTD. FIXTURE
- ⊕ NEMA TYPE III WALL MTD. FIXTURE
- ⊕ SPECIAL PURPOSE FIXTURE
- ⊕ H.D. CEILING FIXTURE
- ⊕ EMERGENCY BATTERY LIGHT (number of heads shown)

CIRCUITRY and RACEWAYS

- CONDUIT INSTALLED (underground)
- CONDUIT INSTALLED (overhead)
- CIRCUIT UP
- CIRCUIT DOWN
- HOME RUN (with circuit numbers)
- CONDUCTORS (ground, neutral, phase, switch leg, two travelers)
- END OF RUN, CAP AND STAKE
- 'RUN CONTINUES' INDICATION
- FLEXIBLE PIGTAIL CONNECTIONS
- WIRELOD, AS NOTED
- FLUSH-HOLD, AS NOTED
- BUS DUCT, AS NOTED
- UNDERFLOOR DUCT, AS NOTED

SOUND and SIGNAL

- ⊕ SPEAKER
- ⊕ VOLUME CONTROL
- ⊕ BUZZER
- ⊕ CHIME
- ⊕ TELEVISION ANTENNA OUTLET
- ⊕ MICROPHONE OUTLET
- ⊕ INTERCOM OUTLET

DESIGNATIONS

- △ REVISION NOTE
- ⊕ FLAG NOTE
- UNLESS OTHERWISE NOTED
- UON ABOVE FINISH FLOOR
- AFG ABOVE FINISH GRADE

SERVICE and EQUIPMENT

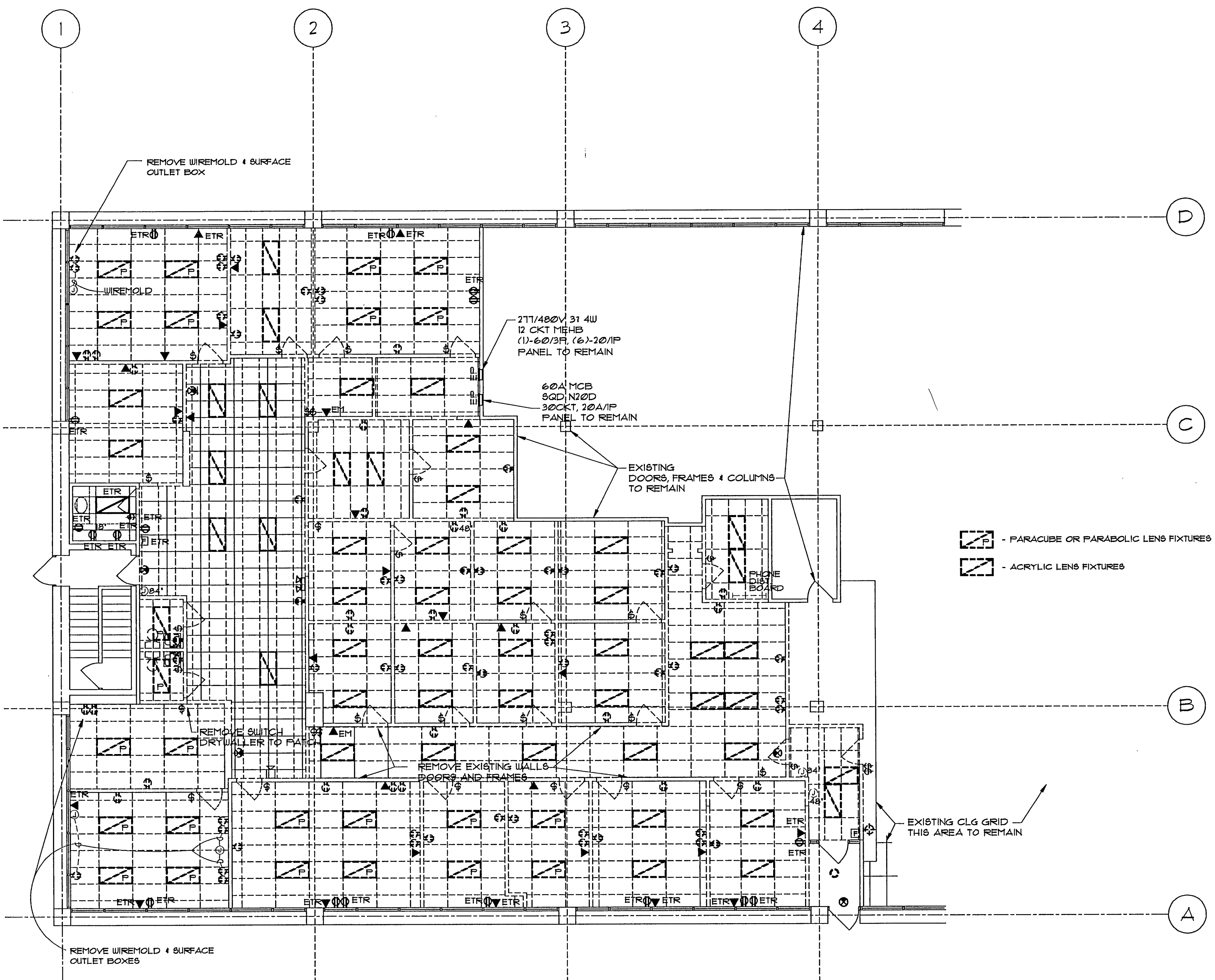
- ⊕ TRANSFORMER, PAD MOUNTED
- ⊕ TRANSFORMER, DRY (KVA shown)
- ⊕ DISCONNECT SWITCH (size shown)
- ⊕ NON-FUSED DISC. (switch size shown)
- ⊕ MAGNETIC STARTER (BY HVAC UON)
- ⊕ COMB. STARTER (BY HVAC UON)
- ⊕ PANELBOARD, SURFACE MOUNTED
- ⊕ PANELBOARD, FLUSH MOUNTED
- ⊕ WEATHERHEAD
- ⊕ UTILITY METER, AS REQUIRED
- ⊕ GENERATOR, KW SHOWN
- ⊕ TELEPHONE TERMINAL BOARD
- ⊕ TELEPHONE TERMINAL CABINET (surface unless otherwise noted)
- ⊕ GROUND CONNECTION PER N.E.C.
- ⊕ WIREWAY
- ⊕ CIRCUIT BREAKER
- ⊕ ENCLOSED CIRCUIT BREAKER

CONTROL

- ⊕ THERMOSTAT (line voltage UON, furnished by HVAC UON)
- ⊕ THERMOSTAT (line voltage UON, furnished by HVAC UON)
- ⊕ PHOTOCELL (voltage as required)
- ⊕ TIME CLOCK (24 hour UON)
- ⊕ PUSHBUTTON STATION (number of buttons indicated)
- ⊕ LIGHTING CONTACTOR
- ⊕ MOTION DETECTOR

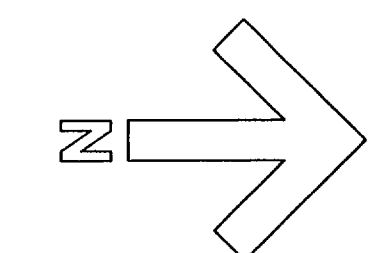
FIRE ALARM

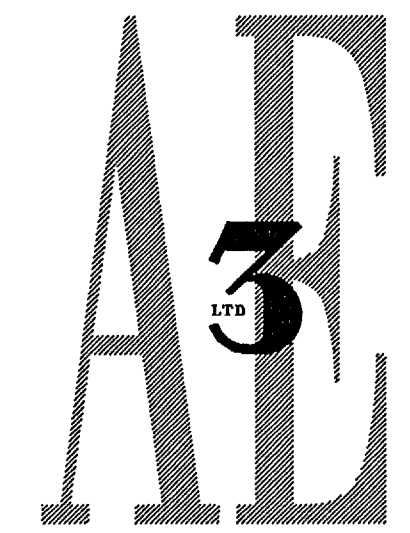
- ⊕ DETECTOR (specify type)
- ⊕ DETECTOR (specify type)
- ⊕ DETECTOR, RATE OF RISE
- ⊕ DUCT DETECTOR
- ⊕ HORN
- ⊕ HORN & LIGHT
- ⊕ SPEAKER
- ⊕ SPEAKER & LIGHT
- ⊕ FULL STATION
- ⊕ FIRE ALARM CONTROL PANEL
- ⊕ ANNUNCIATOR PANEL
- ⊕ END OF LINE DEVICE
- ⊕ REMOTE INDICATING LIGHT, WALL MTD.
- ⊕ REMOTE INDICATING LIGHT, CLG. MTD.
- ⊕ MAGNETIC DOOR HOLDER
- ⊕ FIREFIGHTER COMMUNICATION JACK
- ⊕ AUDIBLE SIGNAL
- ⊕ FLOW SWITCH (furnished by x/c)
- ⊕ TAMPER SWITCH (furnished by x/c)



EXISTING ELECTRICAL DEMO FLOOR PLAN
1/8" = 1'-0"

- GENERAL NOTES:**
- EC TO REMOVE AND PROPERLY DISPOSE OF ALL EXISTING FLUORESCENT FIXTURES SHOWN TO BE REMOVED.
 - PROVIDE BILL OF LADING SHOWING PROPER DISPOSAL OF FLUORESCENT LAMPS AND BALLASTS TO OWNER.
 - EC SHALL DISCONNECT WIRING TO WALLS BEING DEMOLISHED FOR DISPOSAL BY DEMOLITION CONTRACTOR.





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PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

- LIGHTS SUPPLIED BY EC, INSTALLED BY EC
- SUPPLY GRILLES TO MATCH EXISTING

REVISIONS

NO.	DATE	DESCRIPTION	CONST

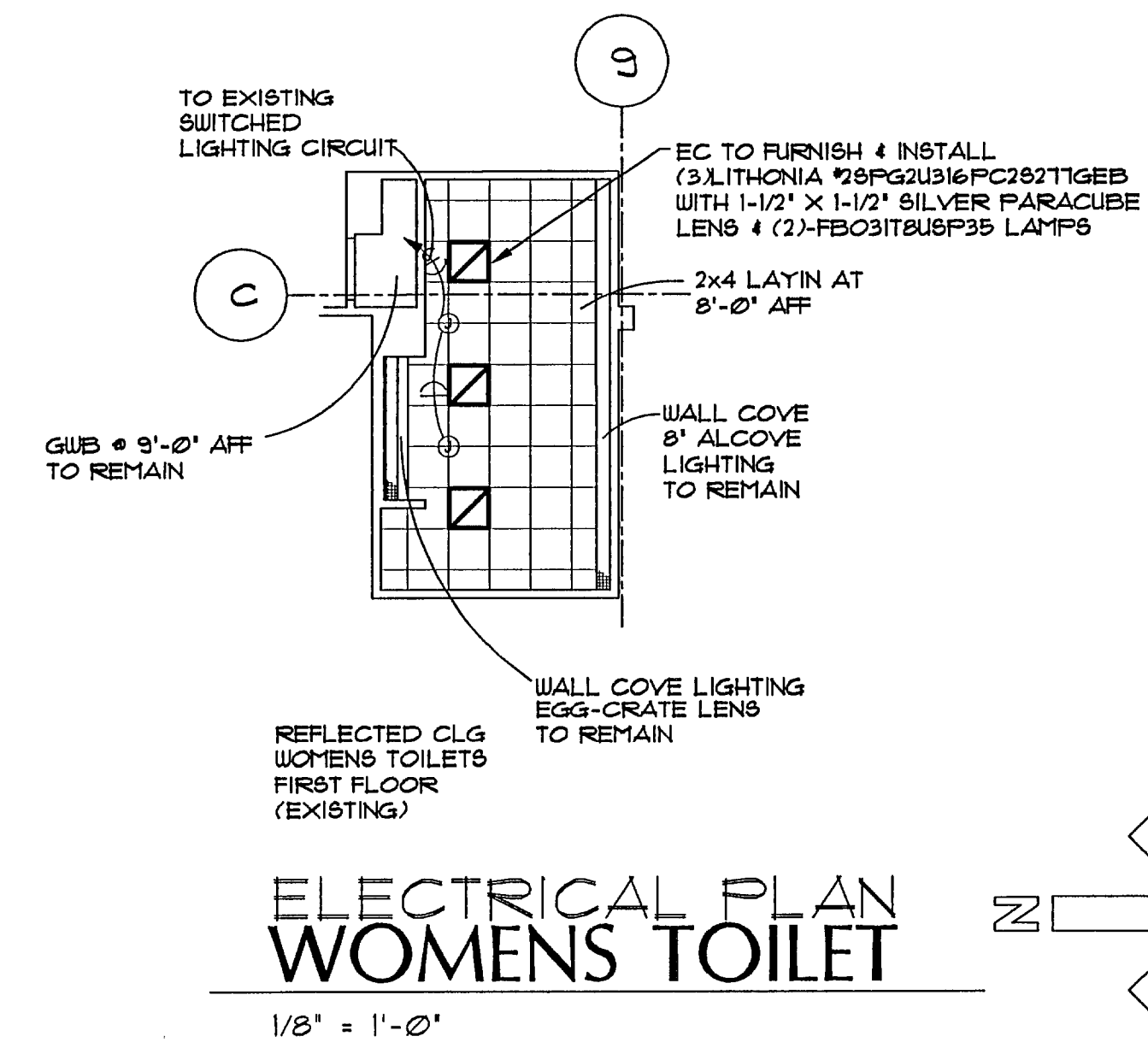
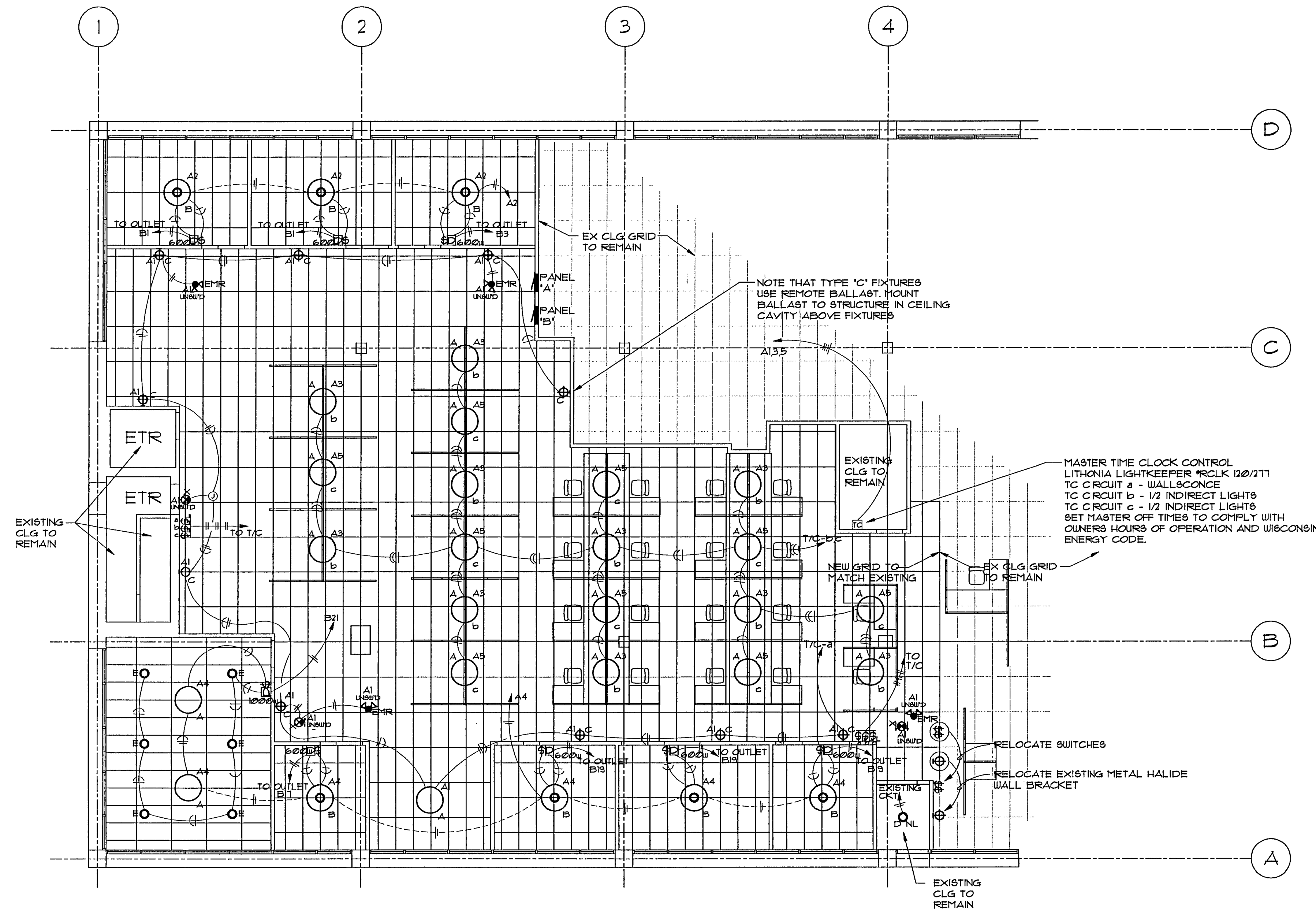
SHEET CONTENTS

FLOOR PLAN - LIGHTING

MISC. INFO SHEET

DATE: 11/13/98
PROJECT NO. 98047

E2



ELECTRICAL PLAN WOMENS TOILET

1/8" = 1'-0"

FLOORPLAN-LIGHTING

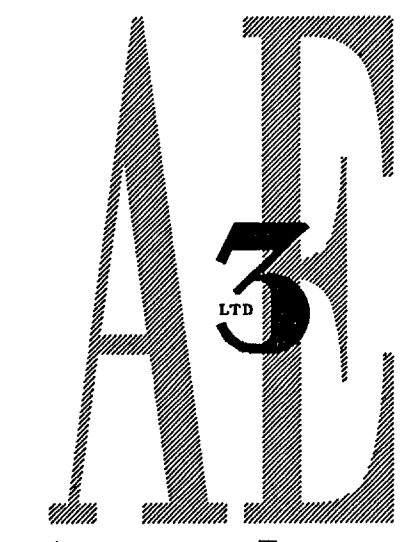
1/8" = 1"

LOAD DESCRIPTION	WIRE	P	AMP	CCT	V/A	PHASE	V/A	CCT	AMP	P	WIRE	LOAD DESCRIPTION
WALL SCONCE & EMERG. LTG	12	1	20	1	2400	A	840	2	20	1	12	OFFICE LIGHTING - WEST
INDIRECT LIGHTING (1/2 LEVEL)	12	1	20	3	2520	B	1680	4	20	1	12	OFFICE/CONFERENCE LTG. - EAST
INDIRECT LIGHTING (1/2 LEVEL)	12	1	20	5	2800	C	600	6	20	1	12	EXISTING CIRCUIT
SPACE	1E	1E	1E	7	5000	A	0	8	m	n	m	SPACE
TRANSFORMER	6	3	60	3	5000	B	0	10	m	n	m	SPACE
SPACE	1E	1E	1E	11	5000	C	0	12	m	n	m	SPACE

VOLTAMPS: PHASE A: 8320 PHASE B: 9200 PHASE C: 8400 TOTAL CONNECTED VA 85920
(CONTINUOUS VA (10320 x 1.00 : 10320 + (REMAINDER x 0.60)) TOTAL DEMAND VA 19600 TL AMP 8.2371

TYPE	LAMP DATA		DESCRIPTION	LIGHTING FIXTURE		MOUNTING	CEILING TYPE	SEE. NOTE	VOLT
	NO.	TYPE		MAKE	CATALOG NO.				
A	3	39FLT	INDIRECT FLUORESCENT PENDANT WITH WHITE FINISH	SPI	OPW2891-277WH	AIRCRAFT CABLE PENDANT	GRID		277
B	3	50FLT	INDIRECT FLUORESCENT PENDANT WITH INCANDESCENT DOWNLIGHT & WHITE FINISH	SPI	OPW2891-277WH-DL	AIRCRAFT CABLE PENDANT	GRID		277
C	1	55PAR16	WALL MOUNTED METAL HALIDE QUARTER SPHERE WITH WHITE FINISH	SPI	WALL	WALL		1	277
D	1	F32TIT	RECESSED FLUORESCENT DOWNLIGHT WITH SILVER ALZAK REFLECTOR	RUUD OR EQUAL	R7F32-1	RECESSED	GRID		120
E	1	150A	RECESSED INCANDESCENT DOWNLIGHT WITH SILVER ALZAK REFLECTOR	RUUD OR EQUAL	R7-R119-CL	RECESSED	GRID		277
X	2	LED WITH UNIT	UNIVERSAL MOUNT LED EXIT LIGHT W/ BATTERY UNIT	LITHONIA	LQMSW3R-EL	SURFACE	GRID		277
EMR	2	WITH UNIT	RECESS EMERGENCY LIGHTING UNIT W/ 2 FLOOD LAMPS	DUAL LITE	E2ZR	RECESSED	GRID		277
OA	1	175MH	GROUND MOUNTED FLOOD LIGHT WITH WHITE FINISH	LSI	DRSVF175MHFMTWHTNO	STAKE		2	120
OB	1	100MH	BOLLARD LIGHT WITH WHITE FINISH & BLACK ACCENT BAND	LSI	BVRDD100MHCPMTWHT N055	CONCRETE BASE		3	FIELD VERIFY

- NOTES: 1,)PROVIDE WITH REMOTE MOUNTED 750 BALLAST
2,)PROVIDE STAKE MOUNTING PER DETAIL ON SHEET "E1"
3,)PROVIDE CONCRETE BASE PER DETAIL ON SHEET "E1"



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PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST

SHEET CONTENTS

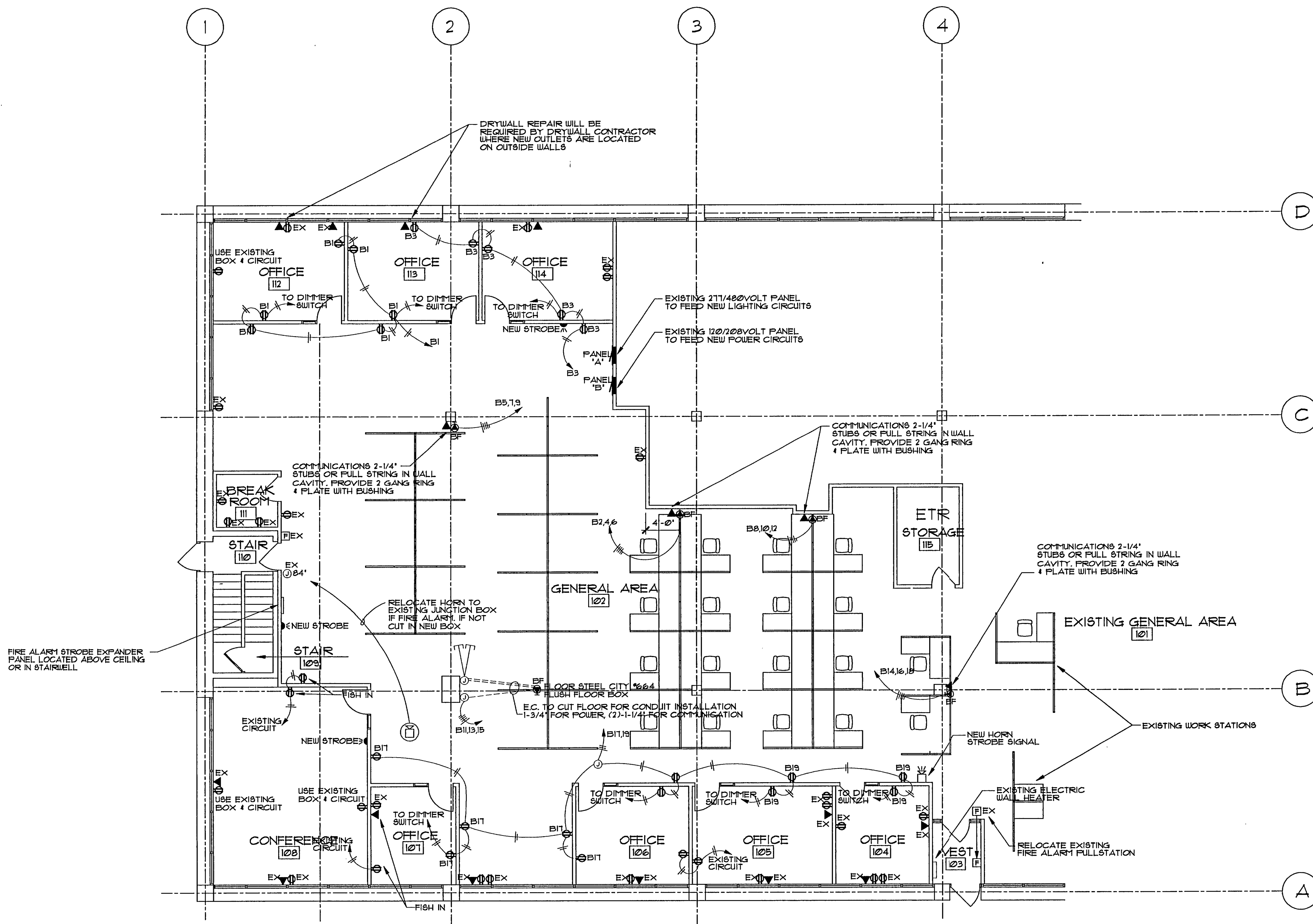
FLOOR PLAN - ELECTRICAL POWER

MISC. INFO

DATE: 11/13/98
PROJECT NO. 98047

SHEET

E3

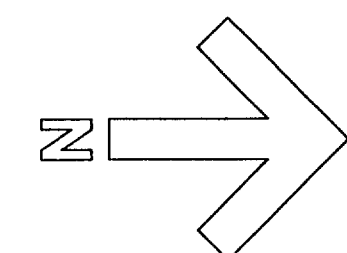


GENERAL NOTES

- 1) ALL EXISTING DUPLEX OUTLET CIRCUITS ARE TO BE MAINTAINED. REROUTE WIRING AS REQUIRED TO ACCOMPLISH THIS.
- 2) CIRCUIT NUMBERS SHOWN ARE TO CLARIFY QUANTITY OF CIRCUITS TO FEED NEW WORK. EXISTING OUTLET CIRCUITS FROM PANEL 'B' ARE TO BE MAINTAINED. CIRCUITS FREE FROM DEMOLITION ARE TO BE USED TO SERVE NEW CIRCUITS SHOWN.


FLOORPLAN-POWER

1/8"=1'0"



SCHEDULE FOR PANEL: B		BUSING AMP: 60	VOLTAGE: 120/208	PHASE: 3	WIRE: 4	NEMA: 1						
MAINS: 60A MCB		MOUNTING: FLUSH	TYPE: NGDD	REMARKS: EXISTING PANEL								
LOAD DESCRIPTION	WIRE	P	AMP	CCT	V/A	PHASE	V/A	CCT	AMP	P	WIRE	LOAD DESCRIPTION
WALL OUTLETS, DOWNLIGHTS	12	1	20	1	1950	A	960	2	20	1	12	WORK STATION BASE FEED
WALL OUTLETS, DOWNLIGHTS	12	1	20	3	955	B	960	4	20	1	12	WORK STATION BASE FEED
WORK STATION BASE FEED	12	1	20	5	720	C	960	6	20	1	12	WORK STATION BASE FEED
WORK STATION BASE FEED	12	1	20	7	720	A	960	8	20	1	12	WORK STATION BASE FEED
WORK STATION BASE FEED	12	1	20	9	720	B	960	10	20	1	12	WORK STATION BASE FEED
WORK STATION BASE FEED	12	1	20	11	1440	C	960	12	20	1	12	WORK STATION BASE FEED
WORK STATION BASE FEED	12	1	20	13	1440	A	240	14	20	1	12	WORK STATION BASE FEED
WORK STATION BASE FEED	12	1	20	15	1440	B	240	16	20	1	12	WORK STATION BASE FEED
WALL OUTLETS, DOWNLIGHTS	12	1	20	17	955	C	240	18	20	1	12	WORK STATION BASE FEED
WALL OUTLETS, DOWNLIGHTS	12	1	20	19	1245	A	800	20	20	1	12	EXISTING CIRCUITS
CONFERENCE ROOM DOWNLIGHTS	12	1	20	21	920	B	800	22	20	1	12	EXISTING CIRCUITS
EXISTING CIRCUITS	12	1	20	23	800	C	800	24	20	1	12	EXISTING CIRCUITS
EXISTING CIRCUITS	12	1	20	25	800	A	800	26	20	1	12	EXISTING CIRCUITS
EXISTING CIRCUITS	12	1	20	27	800	B	800	28	20	1	12	EXISTING CIRCUITS
EXISTING CIRCUITS	12	1	20	29	800	C	800	30	20	1	12	EXISTING CIRCUITS

VOLTAMPS: PHASE A: 9155 PHASE B: 8575 PHASE C: 8475 TOTAL CONNECTED VA: 26205
(CONTINUOUS VA (38% 1000)) 385 (REMAINDER x 0.60) TOTAL DEMAND VA: 15811 TL AMP: 44.10



AE
3
LTD

ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

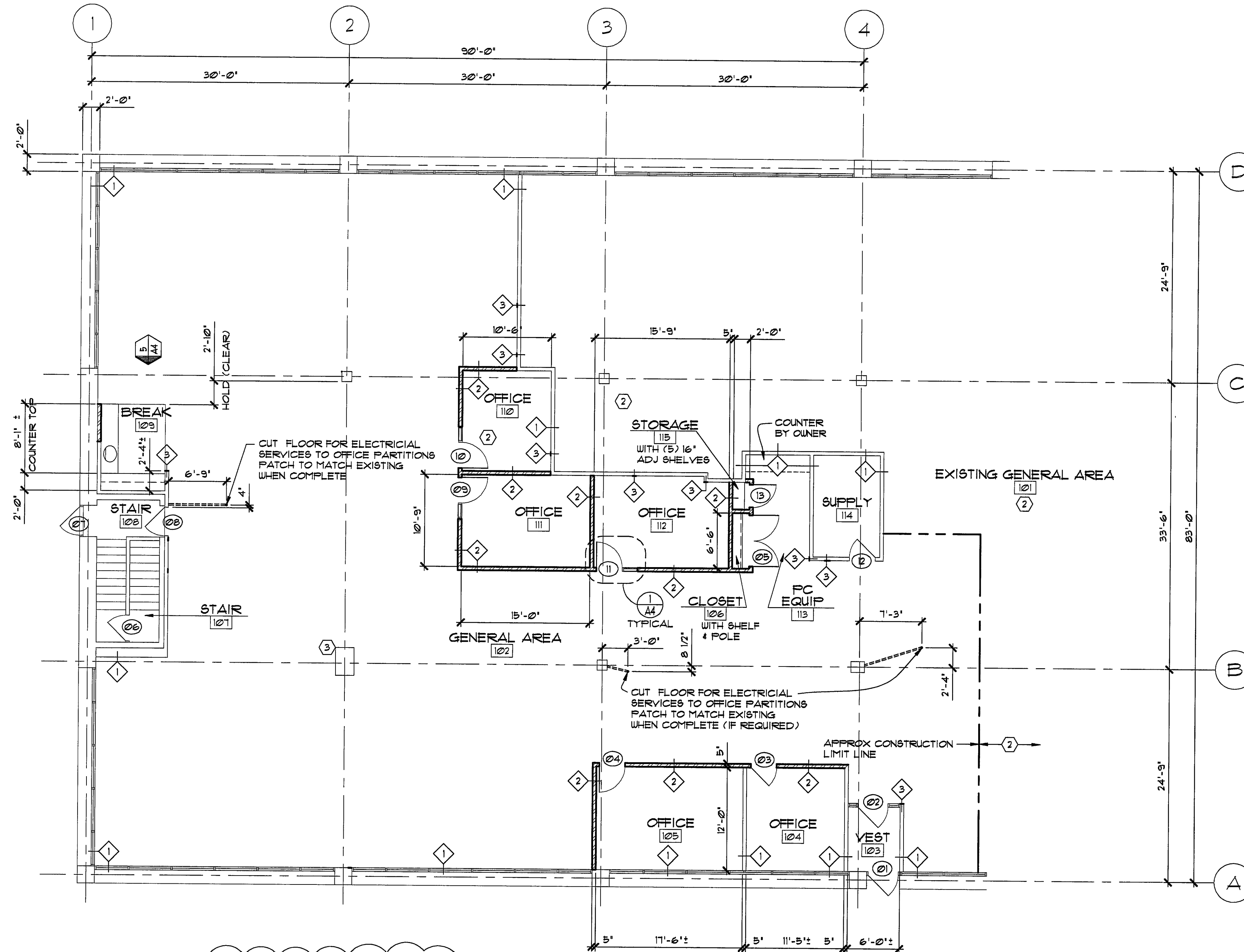
205 W. HIGHLAND AVENUE
MILWAUKEE, WI 53203
FAX: 414/276-8448
PHONE: 414/276-8376

WALL TYPES

- FLRPLN
- ① EXISTING WALL TO REMAIN. PATCH AS REQUIRED SO APPEARANCE MATCHES NEW.
 - ② 3 5/8" METAL STUDS AT 16" OC WITH 5/8" GYPSUM WALLBOARD BOTH SIDES. STUDS GO FLOOR TO STRUCTURE ABOVE. GWB FROM FLOOR TO 4" MIN ABOVE CEILING. PROVIDE 4" SOUND BLANKET FLOOR TO 4" MINIMUM ABOVE CEILING.
 - ③ PATCH EXISTING WALL AS REQUIRED WHERE ANOTHER EXISTING WALL WAS REMOVED. APPEARANCE TO MATCH NEW.

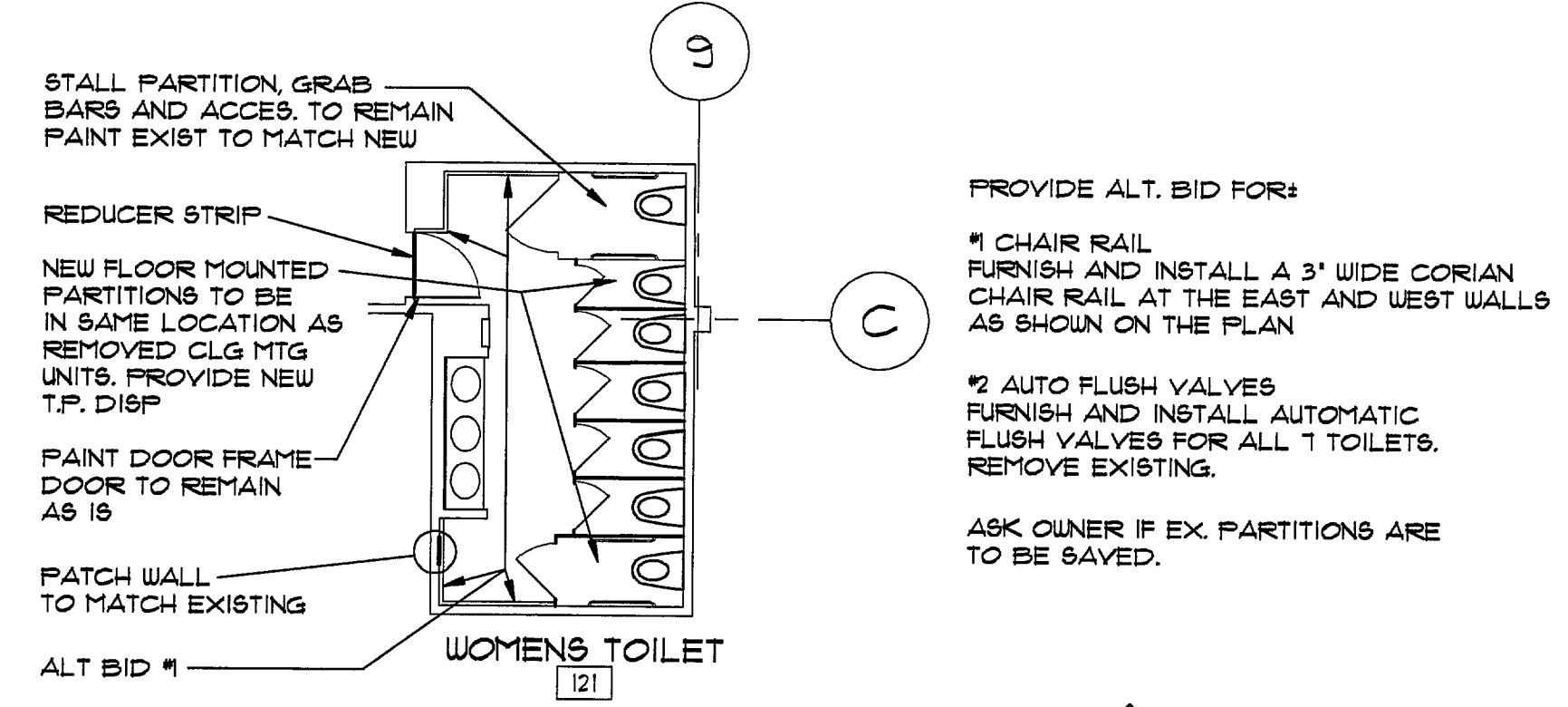
KEYED NOTES

- FLRPLN
- ① SEE SHEET A4 FOR DOOR & SIDELIGHT DETAILS
 - ② THIS AREA NOT IN CONTRACT UNLESS NOTED OTHERWISE OR UNLESS REQUIRED DUE TO WORK IN CONTRACT AREA. (WOMEN'S TOILET ROOM IN CONTRACT)
 - ③ MAKE COLUMN 2B AS SMALL AS POSSIBLE. KEEP A RECTANGULAR SHAPE.

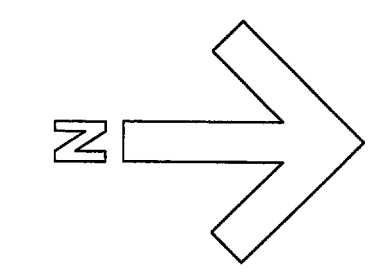


▲ REVISED OFFICE/GENERAL LAYOUT

FLOOR PLAN
1/8" = 1'-0" A1



WOMENS PLAN
1/8" = 1'-0" A1



PROVIDE ALT. BID FOR:

- #1 CHAIR RAIL FURNISH AND INSTALL A 3" WIDE CORIAN CHAIR RAIL AT THE EAST AND WEST WALLS AS SHOWN ON THE PLAN
- #2 AUTO FLUSH VALVES FURNISH AND INSTALL AUTOMATIC FLUSH VALVES FOR ALL 1 TOILETS. REMOVE EXISTING.

ASK OWNER IF EX. PARTITIONS ARE TO BE SAVED.

PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

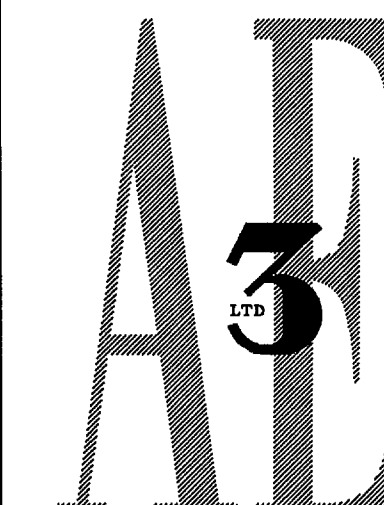
LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST
▲	1/26/99	GUARANTY BANK REVISIONS	

SHEET CONTENTS

FLOOR PLAN	
MISC. INFO	SHEET
DATE: 11/13/98	A1
PROJECT NO. 98047	



ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

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MILWAUKEE, WI 53203
FAX: 414/276-8448
PHONE: 414/276-8375

PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

- △ COMMUNICATION OUTLET
- △ TELEPHONE
- ⊕ DUPLEX OUTLET
- REMOVE & REUSE 2x4 FLUSH FLUOR IN 2x4 CLG GRID
- ▬ SUPPLY GRILLES
- ▭ EXISTING CEILING TILE & GRID
- 9'-6" CLG HEIGHT ROOM NO
- LIGHTS SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR (FINAL LOCATION TO BE DETERMINED AFTER FURNITURE PLAN IS FINALIZED)

REVISIONS

NO.	DATE	DESCRIPTION	CONST
△	1/26/99	GUARANTY BANK REVISIONS	

SHEET CONTENTS

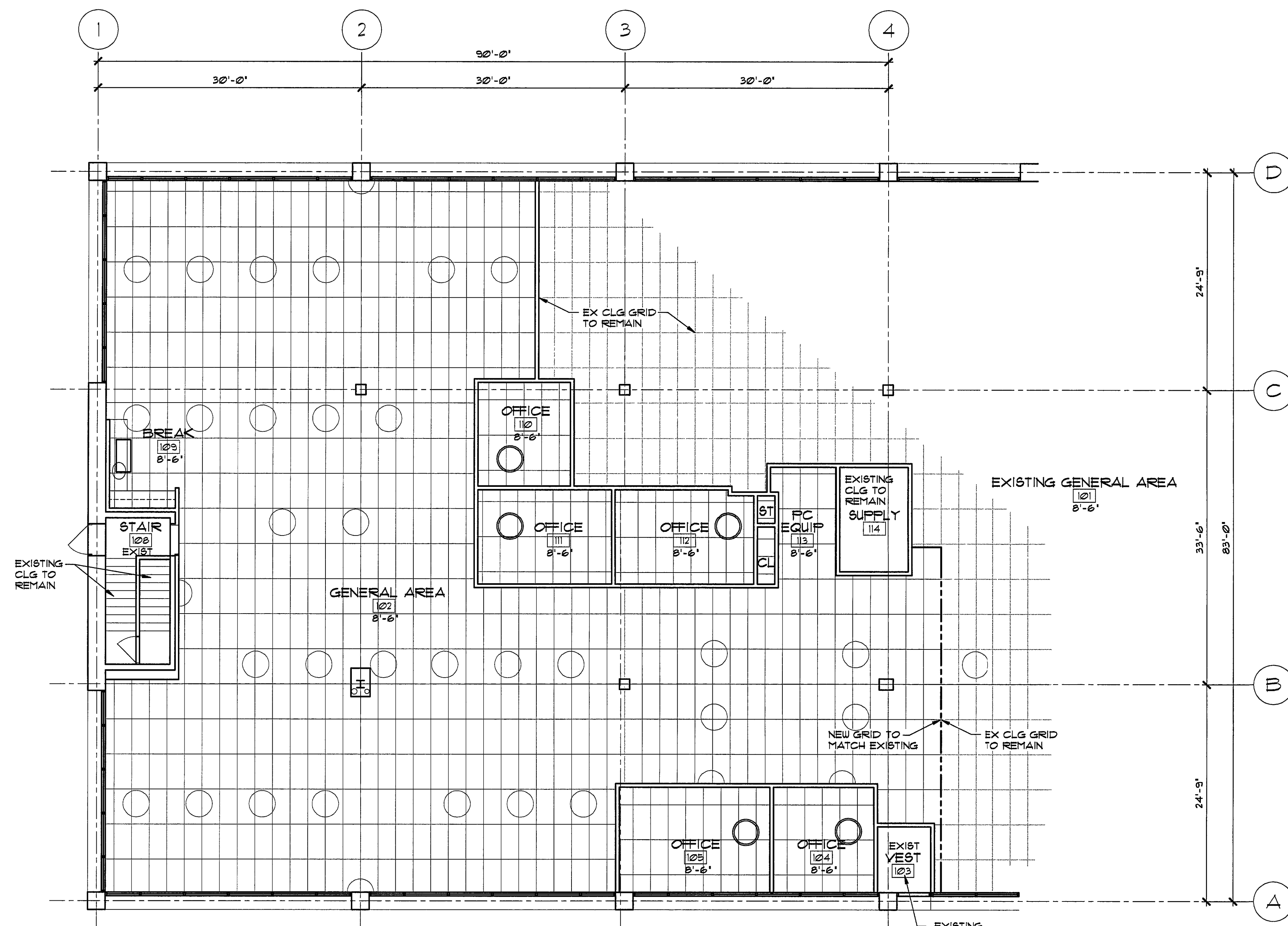
REFLECTED CEILING PLAN

MISC. INFO

DATE: 11/13/98
PROJECT NO. 98047

SHEET

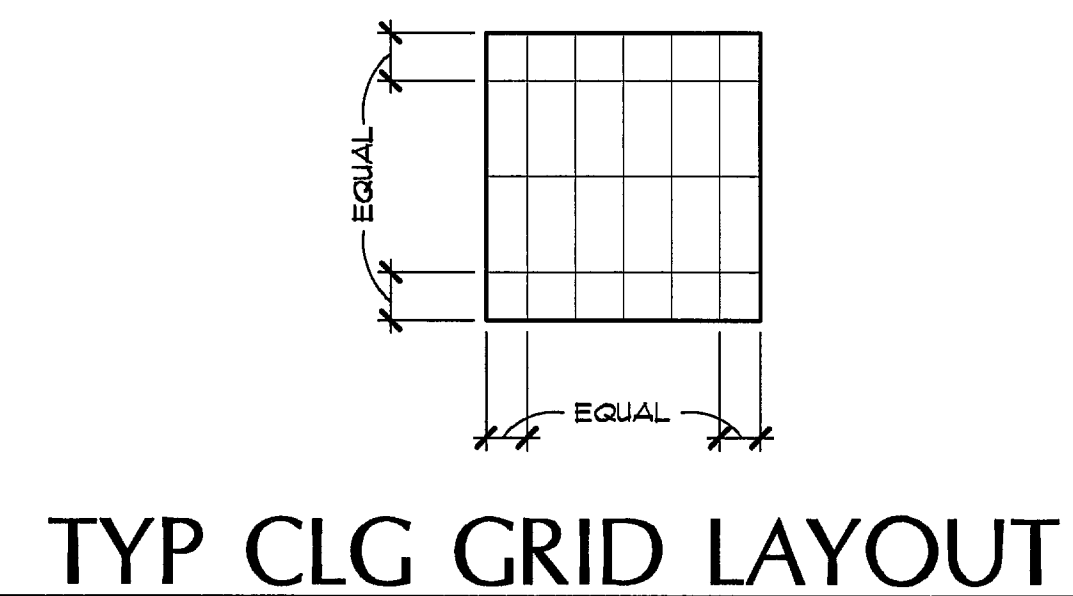
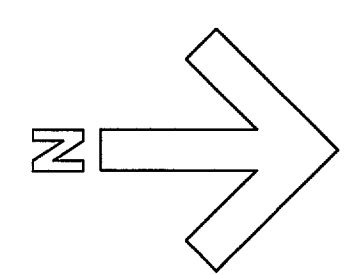
A2



△ REVISED OFFICE LAYOUTS AND LIGHT LOCATIONS

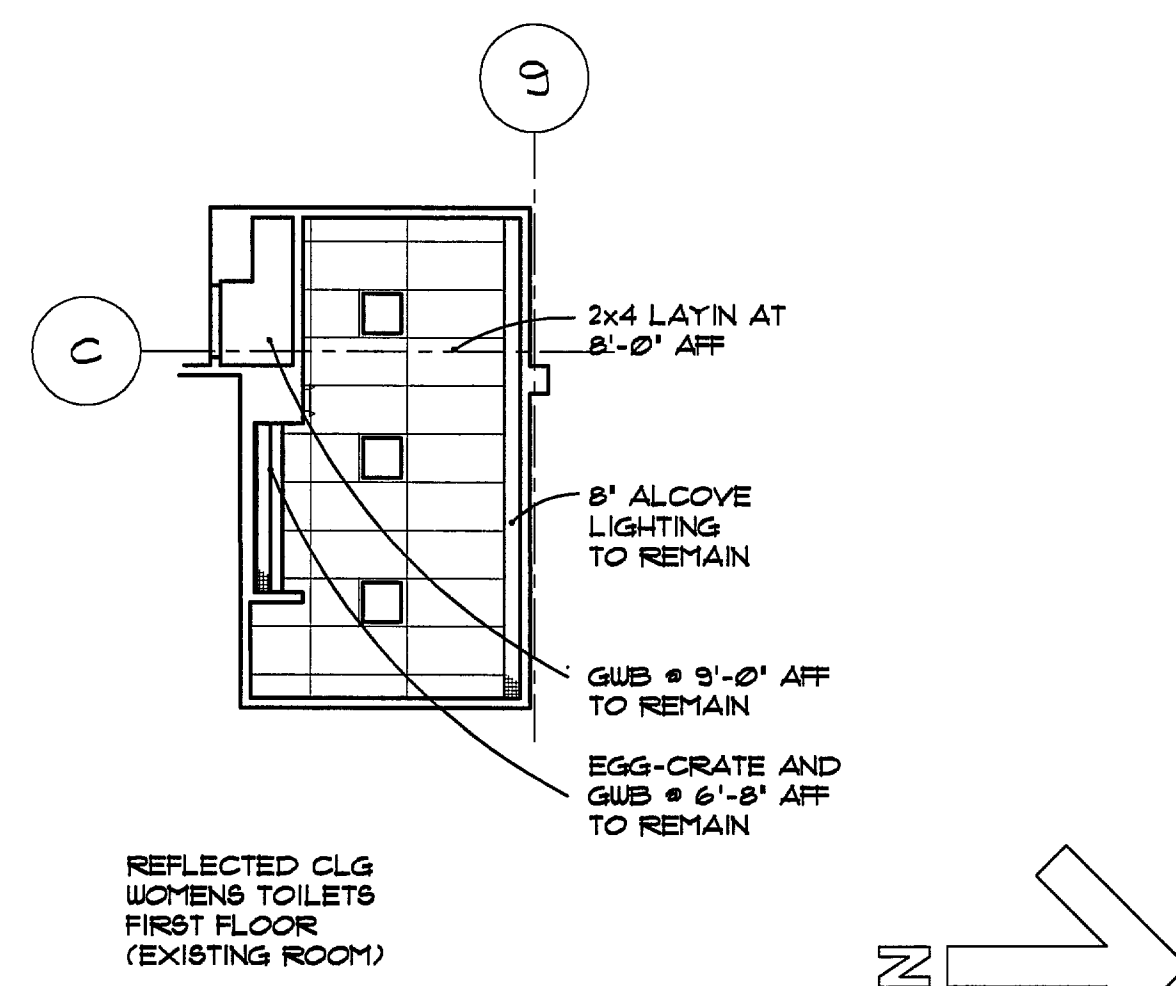
REFLECTED CEILING PLAN

1/8" = 1'-0" A2R




TYP CLG GRID LAYOUT

1/8" = 1'-0" A2R



WOMENS TOILET

1/8" = 1'-0" A2R



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PROJECT

GUARANTY BANK
 4000 W BROWN DEER ROAD
 BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

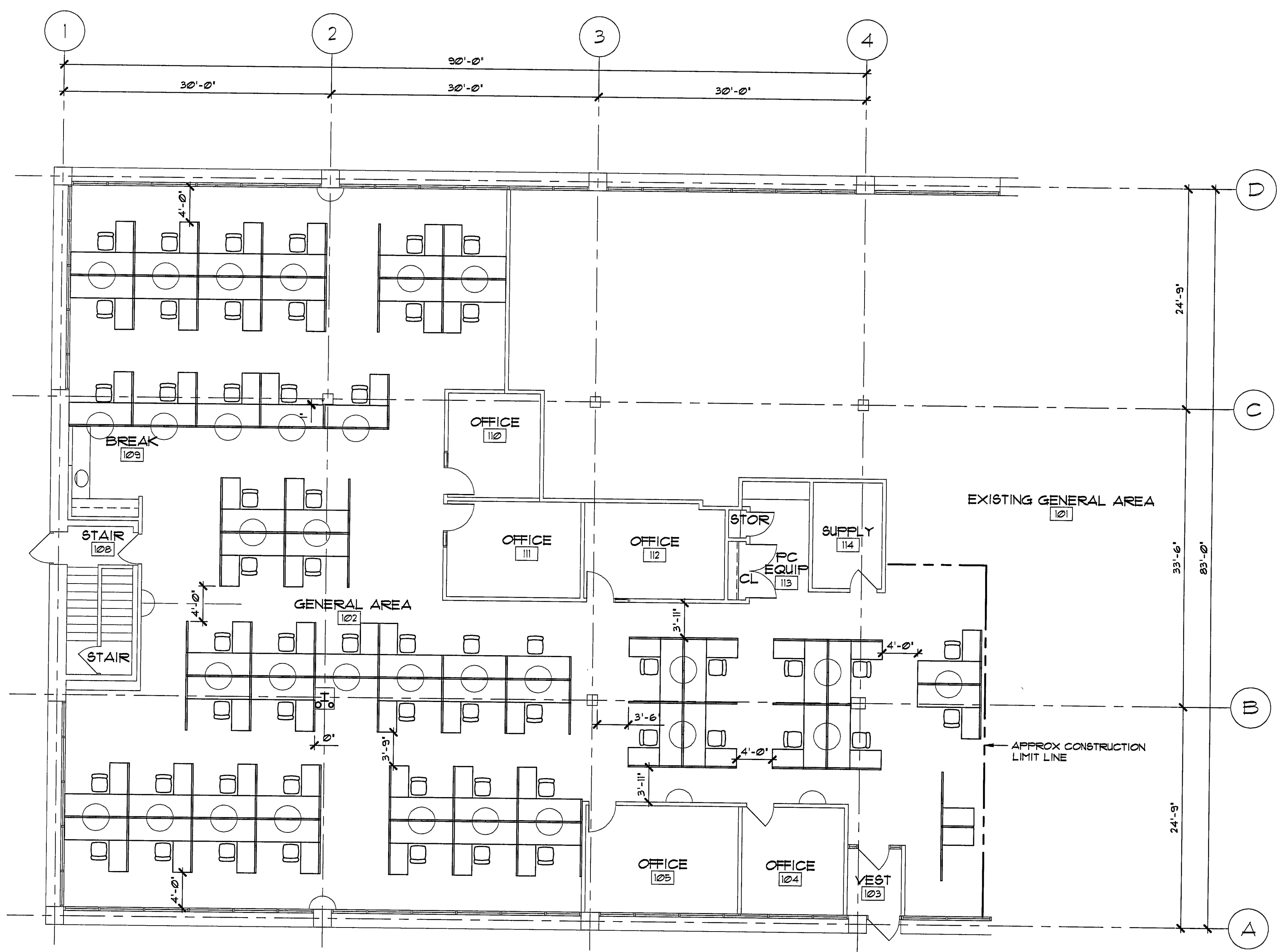
REVISIONS

NO.	DATE	DESCRIPTION	CONST
1	1/26/99	GUARANTY BANK REVISIONS	

SHEET CONTENTS

FURITURE PLAN

MISC. INFO	SHEET
DATE: 11/13/98 PROJECT NO. 98047	<h1>A3</h1>

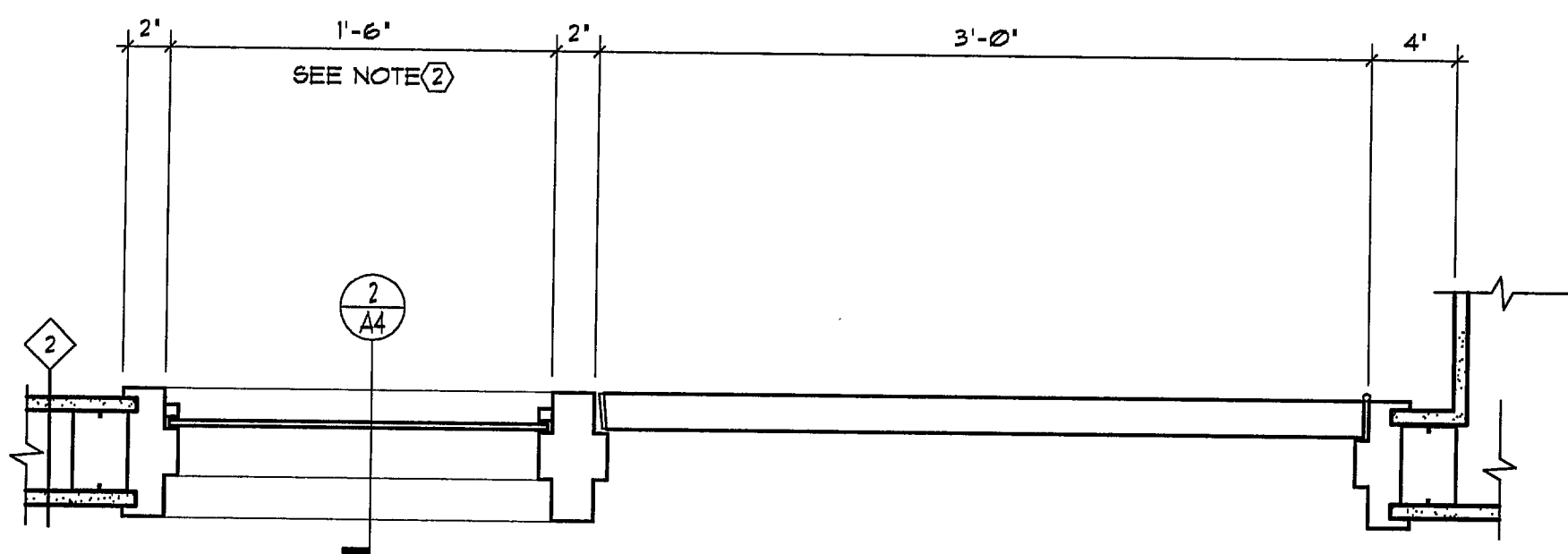


▲ REVISED TOTAL FURNITURE PLAN

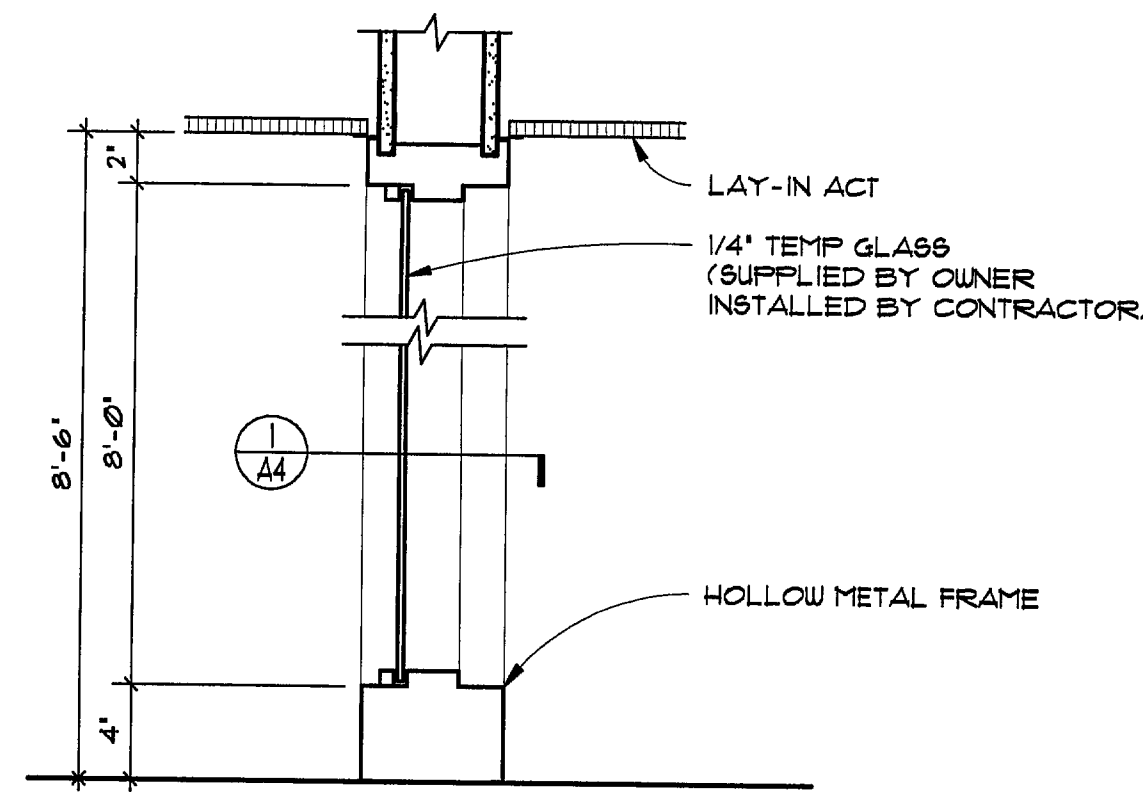
FURNITURE PLAN

1/8" = 1'-0" A3

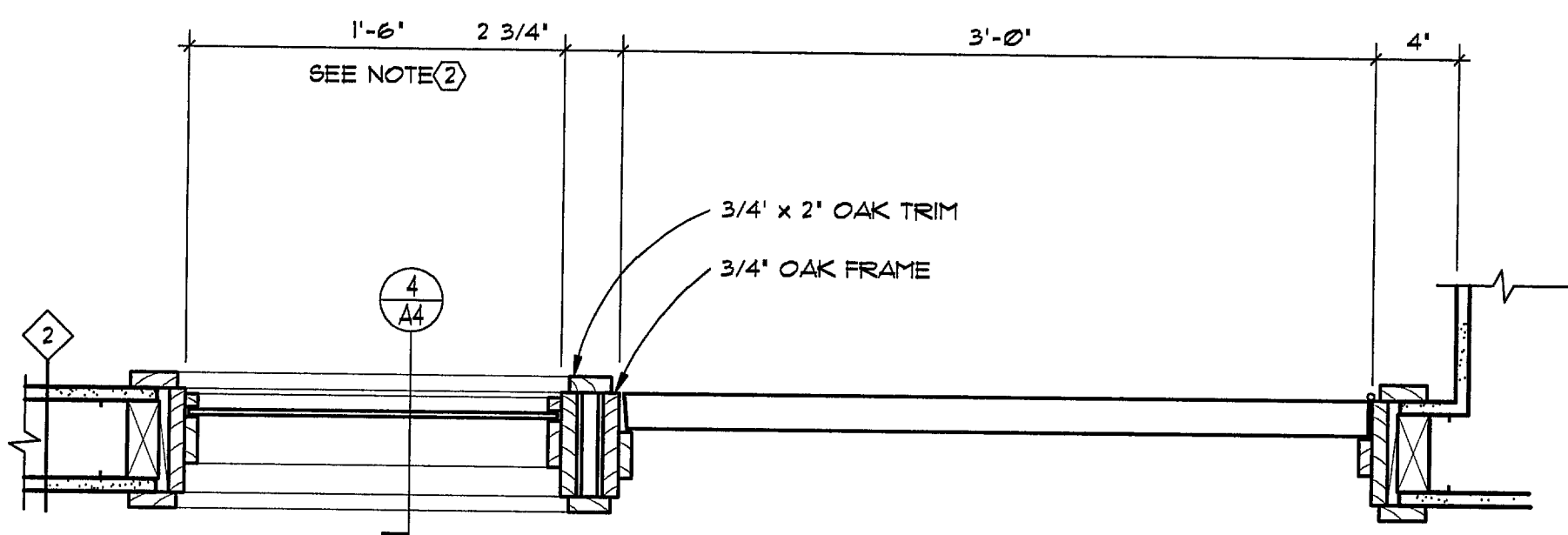




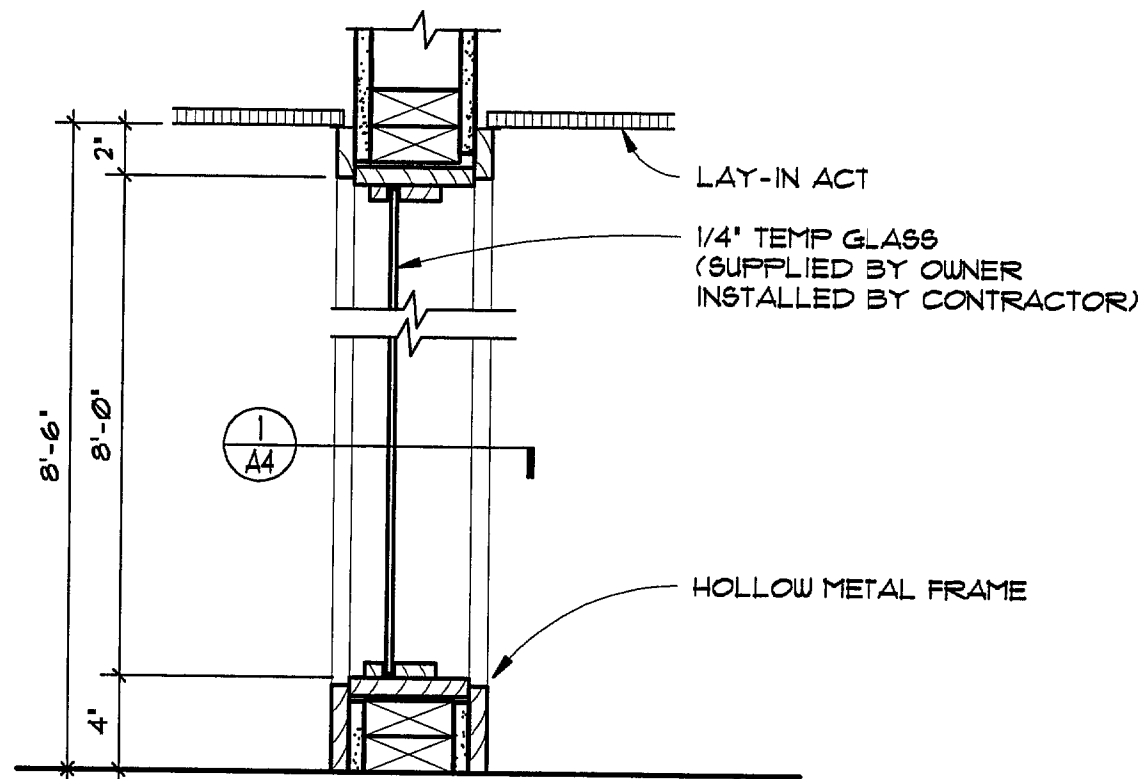
1
A4
HOLLOW METAL - DOOR @ SIDELIGHT
1 1/2' x 1'-0"



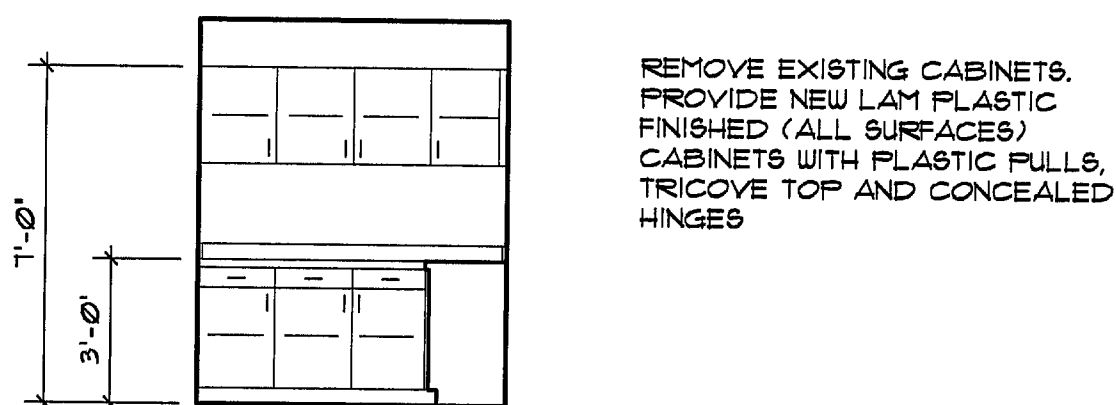
2
A4
SECTION @ HM SIDELIGHT
1 1/2' x 1'-0"



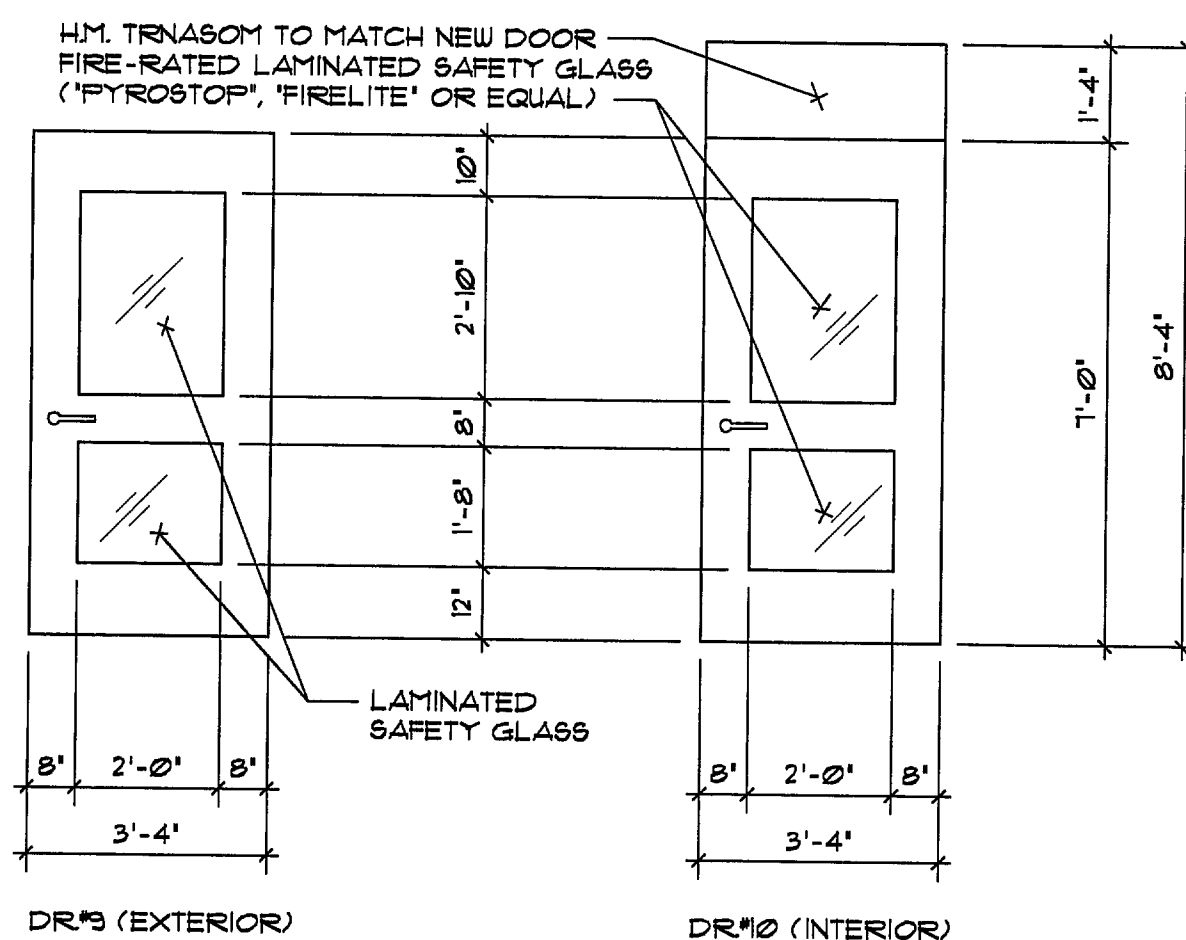
3
A4
WOOD - DOOR @ SIDELIGHT
1 1/2' x 1'-0"



4
A4
SECTION @ WOOD SIDELIGHT
1 1/2' x 1'-0"



5
A4
EL OF W WALL - BREAK ROOM 109
1/4' x 1'-0"



6
A4
NEW DOORS @ NOS. 9 & 10
N.T.S.

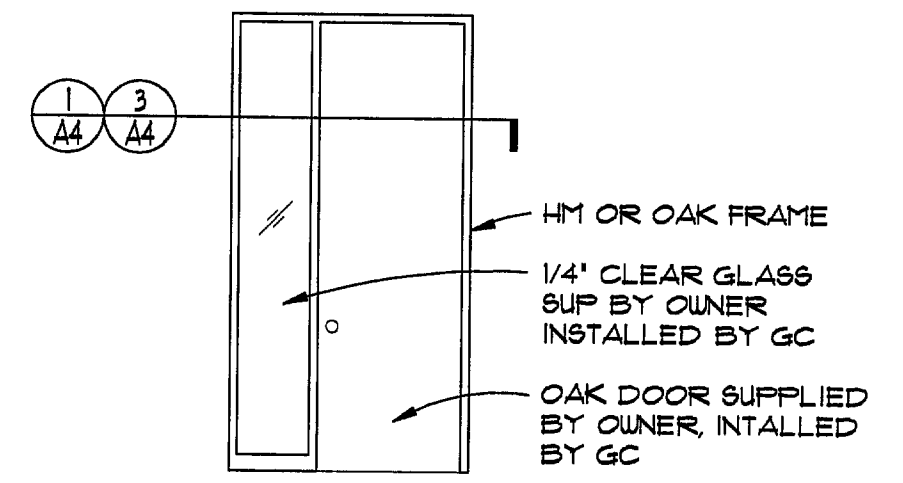
ROOM FINISH SCHEDULE [3]										
NO.	ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CLG.	CLG. HT.	REMARKS
101	EXIST GENERAL AREA	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	[1]
102	GENERAL AREA	CARPET	VINYL	GLB/PT	GLB/PT	GLB/PT	GLB/PT	ACT	8'-6"	[2]
103	VESTIBULE	VCT	VINYL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	[3]
104	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	8'-6"	
105	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	8'-6"	
106	CLOSET	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	8'-6"	
107	STAIR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
108	STAIR	VCT	VINYL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	[3]
109	BREAK	VCT	VINYL	VUC	VUC	VUC	VUC	ACT	8'-6"	
110	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	8'-6"	
111	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	8'-6"	
112	OFFICE	CARPET	VINYL	VUC	VUC	VUC	VUC	ACT	8'-6"	
113	PC EQUIPMENT	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
114	SUPPLY	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
115	NA									
116-120	[4]	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
121	WOMENS TOILET	[5]	[5]	[6]	[6]	[6]	[6]	[7]	[7]	

- [1] EXISTING GENERAL AREA. WORK THIS AREA NIC UNLESS OTHERWISE NOTED, OR REQUIRED TO FINISH CONTRACT WORK.
- [2] GENERAL AREA. WORK THIS AREA TO MATCH EXISTING GENERAL AREA UNLESS OTHERWISE NOTED.
- [3] ALL MATERIALS, FINISHES, ETC. TO MATCH EXISTING UNLESS OTHERWISE NOTED.
- [4] EXISTING ROOM - NIC
- [5] REMOVE EXISTING CERAMIC TILE FLOOR & BASE. PROVIDE 12x12 TILE FLOOR AND BASE TO MATCH LOBBY
- [6] REMOVE EXISTING VUC. PROVIDE NEW VUC ON E, S, & W WALLS. CERAMIC TILE ON NORTH WALL TO REMAIN AS IS. PATCH AS REQUIRED WHERE PARTITIONS WERE REMOVED OR AS NEEDED DUE TO NEW CONSTRUCTION.
- [7] REMOVE EXISTING 2x4 @ 8'-0" AFF. PROVIDE NEW 2x4 @ 8'-0". SEE REFL CLG PLAN FOR MORE INFO.
- [8] NEW VINYL TILE BETWEEN DOORS 01 & 02 (MARLEY MFC 51 EBONY ATLANTA)

DOOR SCHEDULE											
DR NO.	SIZE	DOOR (4)	DOOR (4)				FRAME				REMARKS
		TYPE	MATERIAL	GL/SIDELT	GRILL	FINISH	TYPE	MATERIAL	DETAIL		
01	EXIST	(8)	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC
02	EXIST	(8)	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC
03	3'-0"x8'-4"x1 3/4"	FLUSH	SC WOOD	NA	NA	S4V	A	(1)	NA		
04	3'-0"x8'-4"x1 3/4"	FLUSH	SC WOOD	NA	NA	S4V	A	(1)	NA		
05	(2) 3'-0"x8'-4"x1 3/4"	FLUSH	SC WOOD	NA	NA	S4V	A	(1)	NA		
06	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC
07	3'-4"x1'-0"x1 3/4"	FLUSH	H.M.	(5)	NA	(6)	EXIST	EXIST	6/A4	EXTERIOR	
08	3'-4"x8'-4"x1 3/4"	FLUSH	H.M.	(5)	NA	(6)	EXIST	EXIST	6/A4	1 1/2 HR (7)	
09	3'-0"x8'-4"x1 3/4"	FLUSH	SC WOOD	(2)	NA	S4V	A	(1)	OR 3/A4		
10	3'-0"x8'-4"x1 3/4"	FLUSH	SC WOOD	(2)	NA	S4V	A	(1)	OR 3/A4		
11	3'-0"x8'-4"x1 3/4"	FLUSH	SC WOOD	(2)	NA	S4V	A	(1)	OR 3/A4		
12	EXIST	(4)	EXIST	EXIST	EXIST	EXIST	EXIST	(6)	EXIST		
13	2'-10"x8'-4"x1 3/4"	FLUSH	SC WOOD	NA	NA	S4V	A	(1)	NA		
14-21	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NIC

- NOTES:
- (1) CONTRACTOR MAY SUPPLY AND INSTALL HOLLOW METAL OR WOOD FRAMES.
 - (2) 1'-6" SIDELIGHT MAY VARY. CONFIRM SIZE OF OWNER FINISHED GLASS BEFORE BUILDING FRAME
 - (3) ALL WOOD BLOKING TO BE FIRE RETARDANT
 - (4) REUSE ALL EXISTING OAK DOORS. GC TO REPAIR AND REFINISH, AND SUPPLY NEW HARDWARE
 - (5) SEE DETAIL 6/A4
 - (6) PRIME & PAINT TO MATCH EXISTING FRAME
 - (7) 1 1/2 HR RATED HARDWARE
 - (8) NEW DOOR TO MATCH EXISTING REUSE HDUE

REVISED ROOM 4 DOOR SCHEDULES



FRAME TYPE A

A3

ARCHITECTS ■ ENGINEERS
■ CONSTRUCTION MANAGERS

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PROJECT

GUARANTY BANK
4000 W BROWN DEER ROAD
BROWN DEER, WISCONSIN

PROJECT TYPE

LEGENDS

REVISIONS

NO.	DATE	DESCRIPTION	CONST
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SHEET CONTENTS

ROOM FINISH SCHEDULE
DOOR SCHEDULE
DETAILS

MISC. INFO	SHEET
DATE: 11/13/98 PROJECT NO. 98047	A4