



January 02, 2018

CUST ID No. 1347416

ATTN: Buildings & Structures Building Inspector

ERIC ROMANO
EPPSTEIN UHEN ARCHITECTS
333 E CHICAGO ST
MILWAUKEE WI 53202

BUILDING INSPECTION
VILLAGE OF BROWN DEER
4800 W GREEN BROOK DR
BROWN DEER WI 53223

CONDITIONAL APPROVAL

(Please forward a copy of this letter to the fire department conducting inspections of this project.)

PLAN APPROVAL EXPIRES: 01/02/2019

SITE:

Guaranty Bank
4000 W Brown Deer Rd
Village of Brown Deer, 53209-1211
Milwaukee County

Identification Numbers
Transaction ID No. 3005526
Site ID No. 781695
Please refer to both identification numbers, above, in all correspondence with the agency.

FOR:

Facility: 728606 GUARANTY BANK
4000 W BROWN DEER RD
BROWN DEER 53209

Tenant Name or Addn/Alt Description: First Citizens Bank and Trust/ Guaranty Bank
Object Type: Building ICC Regulated Object ID No.: 1729415 Code Applies Date: 09/27/17
Alteration Level: 2; Major Occupancy: Business; Type IA Fire Resistive class of construction; Alteration plan; 11,664 project sq ft; Completely Sprinklered; Sprinkler Design: NFPA-13 Sprinkler

SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

SUBMIT – The following systems require submittal for review and approval prior to construction.

- **SPS 361.30(3)** - This approval does not include heating, ventilating or air conditioning. The owner should be reminded that HVAC plans, calculations, and appropriate fees are required to be submitted for review and approval prior to installation. Building Designer should coordinate with HVAC design to avoid problems with clearance to combustibles, dampers etc. The submitted HVAC plans and calculations shall match the approved building plans. Building Designer is requested to provide a complete set of plans, Energy Calculations and the Building plan review Transaction I.D. number to the HVAC Designer to help coordinate review. Note as per SPS 302.10 installation of HVAC without approved plans could result in double plan review fees.
- **SPS 361.30(3)** - Unless the sprinkler system is part of a multi-purpose piping system, or an exception listed under SPS 61.30(4)(b) [i.e. alteration or addition of 20 or fewer sprinkler heads to an existing fire sprinkler system] is met, submit prior to

installation, properly signed and sealed fire suppression plans to the Industry Services office that reviewed the building plans except for the Holmen office. A review appointment and simplified application completion may be made in advance by using the online plan review request retrieval feature and the next available appointment feature from our web page at <http://165.189.64.111/Default.aspx?Page=fe17ff79-0c6c-42c7-9clf-0da69cfa7e16> If this is a multi-purpose piping system, then submit plans per the Plumbing program requirements explained at <http://dsps.wi.gov/Default.aspx?Page=bf2c2d08-4a18-4797-8a83-5dd5d48c0943>

- **SPS 361.36(1)(c)** - This approval will expire 1 year after the date of this letter if the work covered by this approval is not completed and the building ready for occupancy within that year.
- The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.
- All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.
- This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.
- In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.
- Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. The compliance statement is available on our website. <http://verification.dsps.wi.gov/IndustryServices/Commercial-Buildings-Compliance/DSPSPMainForm.aspx>

Inquiries concerning this correspondence may be made to me at the telephone number listed below, or at the address on this letterhead.

Sincerely,



Jason L Hansen
Building Inspector, Division of Industry Services
(608)598-0456, 6:30 am - 4:00 pm M-Th, 6:30-10:30 am F
jason.hansen@wi.gov

Fee Required \$	800.00
Fee Received \$	800.00
Balance Due \$	0.00

cc: Betty J Wiese, State Building Inspector, (414) 852-3694, Monday 7:45 A.M. - 4:30 P.M.
Cindy Tinstman, First Citizens

ABBREVIATIONS

A A/C A/E ACT ADDL ADDM ADJ AFC AFF AFG AFS ALT ALUM APRD APT AP ASC B BB BLDG BLT BLW BPL BO BOS C CB CF/CI CF/OI CF/VI CG CIP CNT CL CLG	air condition Architect/Engineer acoustical ceiling tile additional addendum adjustable above finished counter above finished floor above finished grade above finished slab alternate aluminum approved apartment acoustical panel above suspended ceiling baseboard building borrowed tile below base plate bottom of bottom of steel catch basin, construction bulletin contractor furnished, contractor installed contractor furnished, owner installed contractor furnished, vendor installed corner guard cast-in-place counter centerline ceiling	C CLR CM CMU CO COL COC CORC CORR CPT CSWK CT CW CTB D DEMO DEPT DE DIA DP DR DR FR DTL DS DW DWG E EIFS EL EJ ELEC HIC HM HORIZ EP EPS EQ ETR EXIST EXT	clear construction management construction manager concrete masonry unit cleansuit column concrete conidor carpet casswork ceramic tile cold water ceramic tile base demolition department drinking fountain diameter decorative panel door door frame detail downspout dishwasher drawing east exterior insulation & finish system elevation expansion joint electric electrical elevator epoxy expanded polystyrene lused equest existing existing exterior	F F FA FAB FC COL FE FEC FHC FLR FM FO FP FPL FT FTG G GA GALV GB GC GL GLU LAM GR GT GYP BD H HB HC HM HORIZ HSPK HGT HVC HVAC HW HWY	female filler fire alarm fluid-applied fabric file cabinet floor drain fire fire extinguisher cabinet fire hose cabinet floor factory mutual floor mat finished opening fire protection fireproof fireplace fire treated footing guage galvanized grab bar general contractor glass glue laminated wood grade, grading groat gypsum hose bibb hollow core hollow metal horizontal housekeeping height heating, ventilating & air conditioning hot water highway	I ID INSUL INT J JS L LAM LAV LL M MAX MC MECH MFR MICRO MIN MIN MISC REF MO MS MTL N N NIC NO NM NS NTS O OC OD OF/CI OF/OI OF/VI OH DR OPH OPNG	inside diameter insulation interior janitor sink laminated lavatory live load maximum modular carpet tile mechanical manufacturer microwave minimum minute miscellaneous movement joint masonry opening mop sink metal north not applicable not in contract number nominal no scale not to scale on center outside diameter owner furnished, contractor installed owner furnished, owner installed owner furnished, owner installed overhead door opposite hand opening	P PJ PLAM PLYWD PVL PREFAB PREFIN PSI PT PTN Q QT QTB R RB RCP RD REBAR REC REF REF RF REV RFS RO S S SAN SC SC SF SIM SS SST ST STN STNB STRUCT	panel joint plastic laminate plywood panel prefabricated prefinished pounds per square inch paint partition quarry tile quarry tile base resilient base reflected ceiling plan roof drain reinforcing steel bars recess reference refrigerator resilient flooring revision room finish schedule rough opening south sanitary sealed concrete solid core square foot slm solid surface stainless steel stain stair stone stone base structure	T T&M TEMP TEMP TER TERB TFF TKBD TO TOB TOC TOU TOPO TOS TOS TYP U UNO V VERT VF/CI VF/OI VF/VI VNR VIF W W WI W/O WIM WC WD WDB WDV WH WP WP WT	time & materials temperature temporary terrazzo terrazzo base top of finished floor lathboard top of top of beam top of concrete top of joint topography top of slab top of steel typical unless noted otherwise vertical vendor furnished, contractor installed vendor furnished, owner installed vendor furnished, vendor installed veneer verify in field west with without water closet wall covering wood wood base wood veneer water heater wall protection work point window treatment extruded polystyrene board (insulated)
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SYMBOL LEGEND

CALLOUTS

TAGS

GRAPHICS

DIVISION OF INDUSTRY SERVICES
2331 SAN LUIS PL STE 150
GREEN BAY WI 54304-5211
Contact Through Relay
http://daps.wi.gov/programs/industry-services
www.wisconsin.gov
Scott Walker, Governor
Laura Gutierrez, Secretary
January 02, 2018

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PROJECT TEAM



ARCHITECTURAL
EPPSTEIN UHEN ARCHITECTS, INC

333 East Chicago Street
Milwaukee, WI 53202
Phone: (414) 271-5350
www.eua.com

PROJECT CONTACT: Lisa Chang, Project Manager
DIRECT PHONE: (414) 298-2274
EMAIL ADDRESS: lisao@eua.com

SHEET INDEX

GENERAL	INDEX
G000	SECOND FLOOR LIFE SAFETY PLAN
G101	TYPICAL MOUNTING HEIGHTS
G201	
ARCHITECTURAL DEMOLITION	
AD102	SECOND FLOOR DEMOLITION PLAN
AD112	SECOND FLOOR CEILING DEMOLITION PLAN
ARCHITECTURAL	
A102	SECOND FLOOR PLAN
A112	SECOND FLOOR CEILING PLAN
A122	SECOND FLOOR FINISH PLAN
A400	ENLARGED PLANS + ELEVATIONS
A500	CASEWORK DETAILS + WALL TYPES
A800	DOOR AND FRAME SCHEDULE



eppstein uhen : architects

milwaukee	333 East Chicago Street Milwaukee, Wisconsin 53202 414.271.5350
madison	309 West Johnson Street, Suite 202 Madison, Wisconsin 53703 608.442.5350
des moines	699 Walnut Street, Suite 400 Des Moines, Iowa 50309 515.724.5840
denver	1899 Wynkoop Street, Suite 300 Denver, Colorado 80202 303.595.4500



PROJECT INFORMATION

FIRST CITIZENS BANK
INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

SHEET INFORMATION

PROJECT MANAGER	LC
PROJECT NUMBER	217401-01

INDEX

G000

[illegible]

CALLOUTS

VIEW NUMBER

VIEW NAME

VIEW SCALE

ELEVATION DATUM

BUILDING SECTIONS

OTHER SECTIONS

ELEVATIONS

DETAILS

DEPT OF SAFETY
PROFESSIONAL SERVICES
DIVISION OF INDUSTRIAL SERVICES

1-2-18

SEE CORRESPONDENCE TO 300520

H Deerpark 3-4

N Deerpark Pk

S Deerpark

Ruth Pl

N Deerpark Dr

N Deerwood Dr

N Upper River Rd

N Lower River Rd

N Alder Ct

N Kildare Ct

N River Ln

W Brown Deer Rd

W River Ln

Green Brook Rd

Brown Deer Rd

4000 W Brown Deer Rd

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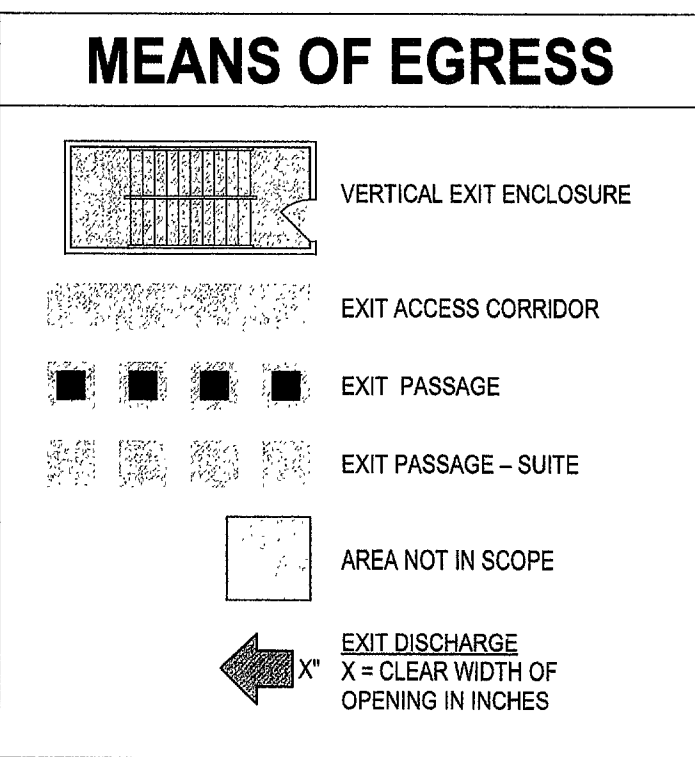
PROJECT MANAGER LC

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G000

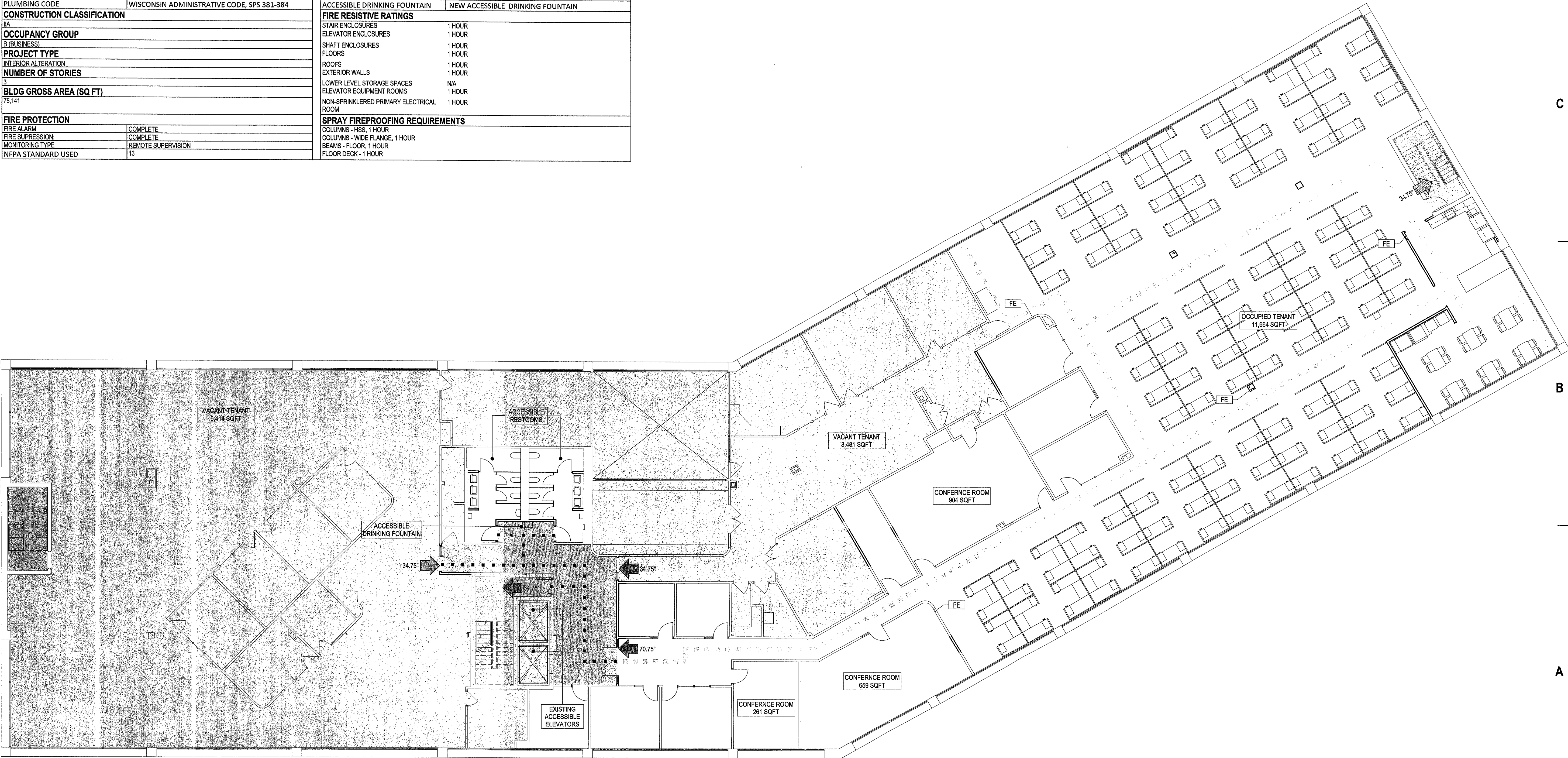
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PROJECT DATA	
SCOPE OF WORK SUMMARY THE PROJECT IS LOCATED IN AN EXISTING 3 STORY OFFICE BUILDING. THE PROJECT IS AN INTERIOR ALTERATION OF TENANT SUITE ON THE SECOND FLOOR. THE WORK INVOLVES INSTALLATION OF NEW PARTITIONS, DOORS, MILLWORK, FINISHES, LIGHTING FIXTURES, AND ELECTRICAL OUTLETS THROUGHOUT THE FOOTPRINT OF THE NEW TENANT SUITE. THE EXISTING MEANS OF EGRESS FROM THE FLOOR (I.E. PUBLIC CORRIDORS AND STAIRS) WILL BE MODIFIED FOR NEW FINISHES. EXISTING PUBLIC RESTROOM FACILITIES WILL BE FULLY RENOVATED NO MODIFICATIONS ARE INVOLVED TO THE EXISTING ENVELOPE OF THE SPACE.	MEANS OF EGRESS
	DOORS 32" MIN. CLEAR REQUIRED; ACTUAL: 34.75" MINIMUM
	AISLES AND CORRIDORS 44" MIN. CLEAR REQUIRED; COMPLIES (NO CONDITION EXCEEDS 44")
	NUMBER OF EXITS 2 REQUIRED EXIT (COMPLIES WITH 1 EXITS)
	EXIT ACCESS TRAVEL DISTANCE 300' MAX. ALLOWED; COMPLIES (NO CONDITION EXCEEDS 300')
	COMMON PATH OF TRAVEL 100' MAX. ALLOWED; COMPLIES (NO CONDITION EXCEEDS 100')
	ARRANGEMENT OF EXITS FURTHEST DISTANCE BETWEEN EXITS IS NOT REQUIRED (1 REQUIRED EXIT)
	DEAD END CORRIDOR 50' MAX ALLOWED; COMPLIES (NO CONDITION EXCEEDS 50')
	ACCESSIBILITY
	ACCESSIBLE ENTRANCE EXISTING BUILDING ENTRANCE IS ACCESSIBLE
APPLICABLE BUILDING CODES	ACCESSIBLE ROUTE ENTIRE TENANT SPACE IS ON ACCESSIBLE ROUTE (FROM ACCESSIBLE PARKING)
	ACCESSIBLE TOILET ROOMS NEW ACCESSIBLE TOILET ROOMS
	ACCESSIBLE TELEPHONES ACCESSIBLE COURTESY TELEPHONE SHALL BE PROVIDED IN THE TENANT SPACE ALONG ACCESSIBLE ROUTE
	ACCESSIBLE DRINKING FOUNTAIN NEW ACCESSIBLE DRINKING FOUNTAIN
	FIRE RESISTIVE RATINGS
	STAIR ENCLOSURES 1 HOUR
	ELEVATOR ENCLOSURES 1 HOUR
	SHAFT ENCLOSURES 1 HOUR
	FLOORS 1 HOUR
	ROOFS 1 HOUR
	EXTERIOR WALLS 1 HOUR
BLDG GROSS AREA (SQ FT) 75,141	LOWER LEVEL STORAGE SPACES NA
	ELEVATOR EQUIPMENT ROOMS 1 HOUR
	NON-SPRINKLERED PRIMARY ELECTRICAL ROOM 1 HOUR
	SPRAY FIREPROOFING REQUIREMENTS
	COLUMNS - HSS, 1 HOUR
	COLUMNS - WIDE FLANGE, 1 HOUR
	BEAMS - FLOOR, 1 HOUR
	FLOOR DECK - 1 HOUR
	FIRE PROTECTION
	FIRE ALARM COMPLETE
CONSTRUCTION CLASSIFICATION IIA OCCUPANCY GROUP B (BUSINESS) PROJECT TYPE INTERIOR ALTERATION NUMBER OF STORIES 3	FIRE SUPPRESSION COMPLETE
	MONITORING TYPE REMOTE SUPERVISION
	NFPA STANDARD USED 13
	WISCONSIN COMMERCIAL BUILDING CODE (IBC 2009 AS MODIFIED BY SPS 362)
	IFC 2009 AS MODIFIED BY CITY OF MILWAUKEE CODE CH. 214 (IFC 2009)
	NEC 2008 AS MODIFIED BY SPS 316
	WISCONSIN COMMERCIAL BUILDING CODE (IBC 2009 AS MODIFIED BY SPS 362); ICC/ANSI A117.1 2003; ADA STANDARDS
	WISCONSIN COMMERCIAL BUILDING CODE (IMC 2009 AS MODIFIED BY SPS 364)
	WISCONSIN COMMERCIAL BUILDING CODE (IECC 2009 AS MODIFIED BY SPS 363)
	WISCONSIN COMMERCIAL BUILDING CODE (IEBC 2009 AS MODIFIED BY SPS 366)
	WISCONSIN ADMINISTRATIVE CODE, SPS 381-384



MAXIMUM OCCUPANT COUNT					
SUITE	SQFT	USE	MAXIMUM OCCUPANT PER SQFT	MAXIMUM OCCUPANTS PER SPACE	MAXIMUM OCCUPANTS PER SUITE
200	9000	OFFICE	100	90	217
	261	CONFERENCE	*100	3	
	659	CONFERENCE	*100	7	
	840	CAFÉ	15	56	
TOTAL:	11664		--	217	

* IBC 2015, 303.1.2.2 - A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.



SECOND FLOOR - CEILING PLAN

3/32" = 1'-0"



eppstein uhen : architects

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PROJECT NUMBER 217401-01

SECOND FLOOR LIFE
SAFETY PLAN

G101

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D

C

B

A

1

2

3

4

5

6



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A

TYPICAL MOUNTING
HEIGHTS

G201

TP TOILET PAPER DISPENSER

ND NAPKIN DISP

MD MISC. DISPENSER

PD PAPER TOWEL DISP

WR WASTE RECEPTACLE

DR DISPENSER & WASTE

FE FIRE EXTINGUISHER

VR VENDOR DISPENSER

MS MISCELLANEOUS

DIMENSION NOTES
(1) SEE TP DISPENSER DIAGRAM FOR ADDITIONAL MOUNTING INFORMATION
(2) NON-ACCESSIBLE
(3) TOP OF SHELF
(4) TOP OF BAR OR PIN
(5) TOP OF WASTE OPENING
(6) TOP OF DISPENSER OPENING
(7) TOP OF HOOK
(8) TOP OF OPERABLE PART
(9) BOTTOM ROLL
(10) TOP OF CHANGING BED

PLAN
FREE-STANDING
ADAAG & ANSI

PLAN
RECESSED
ADAAG & ANSI

SIDE ELEVATION
FREE-STANDING
ADAAG & ANSI

SIDE ELEVATION
FREE-STANDING
NON-ACCESSIBLE

DRINKING FOUNTAINS

PLAN
"18" MIN OR 6" BEYOND LIP WHICHEVER IS GREATER

FRONT ELEVATION
WALL MOUNT
ADAAG & ANSI

FRONT ELEVATION
WALL MOUNT
NON-ACCESSIBLE

URINALS & PARTITIONS

PLAN
WALL MOUNT
ADAAG ONLY

PLAN

SIDE ELEVATION

LAVATORIES

SIDE ELEVATION
WATER CLOSET
ADAAG & ANSI

FRONT ELEVATION
WATER CLOSET
ADAAG & ANSI

PLAN
WATER CLOSET
ADAAG & ANSI

TOILETS & GRAB BARS

KNEE & TOE CLEARANCES (NTS)

SIDE ELEVATION
WATER CLOSET
NON-ACCESSIBLE

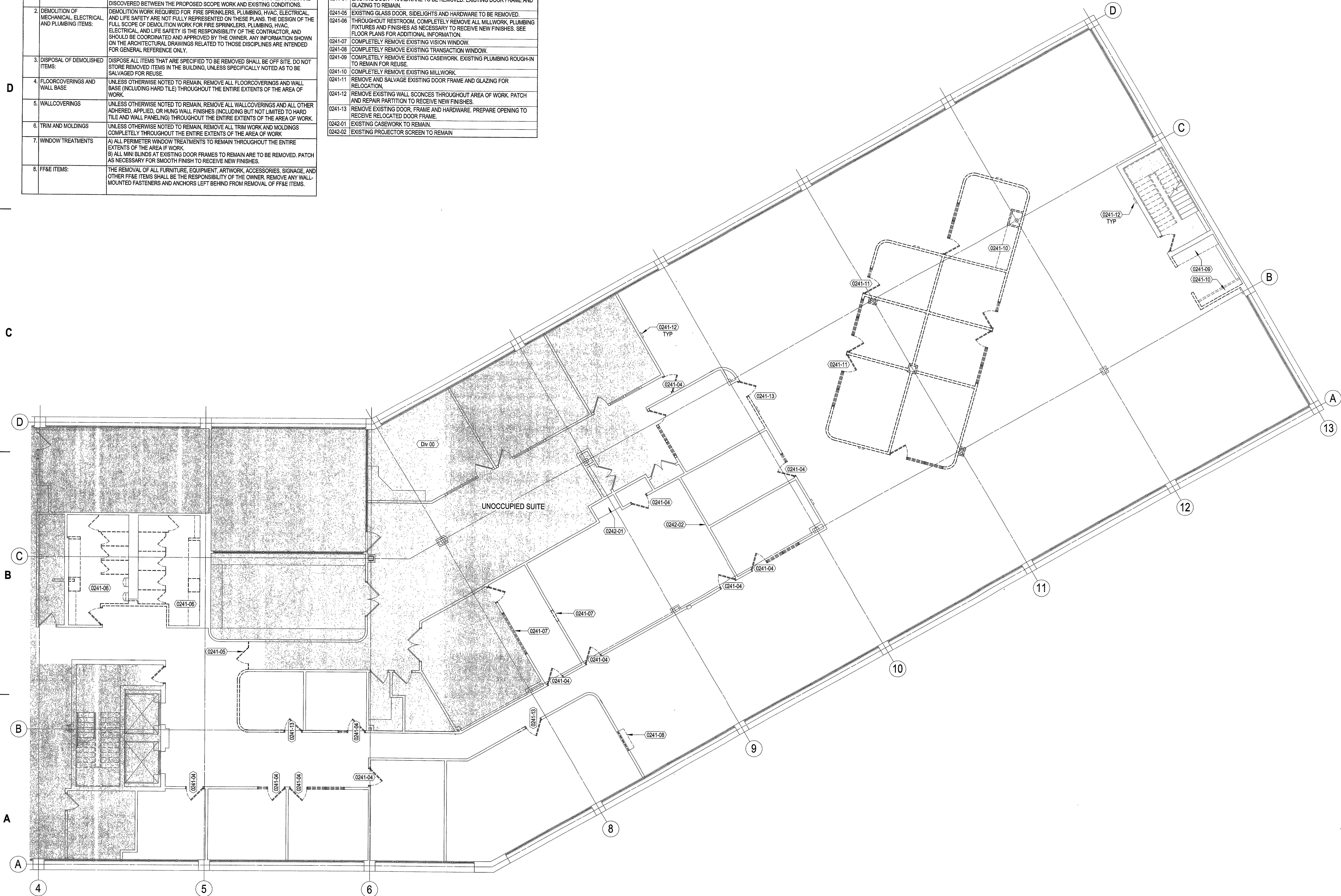
TOILETS

SIDE ELEVATIONS
ADAAG & ANSI

TP DISPENSERS

GENERAL NOTES - DEMOLITION PLAN	
1. EXISTING CONDITIONS:	PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE WORK AND EXISTING CONDITIONS.
2. DEMOLITION OF MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS:	DEMOLITION WORK REQUIRED FOR: FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF DEMOLITION WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
3. DISPOSAL OF DEMOLISHED ITEMS:	DISPOSE ALL ITEMS THAT ARE SPECIFIED TO BE REMOVED SHALL BE OFF SITE. DO NOT STORE REMOVED ITEMS IN THE BUILDING, UNLESS SPECIFICALLY NOTED AS TO BE SALVAGED FOR REUSE.
4. FLOORCOVERINGS AND WALL BASE	UNLESS OTHERWISE NOTED TO REMAIN, REMOVE ALL FLOORCOVERINGS AND WALL BASE (INCLUDING HARD TILE) THROUGHOUT THE ENTIRE EXTENTS OF THE AREA OF WORK.
5. WALLCOVERINGS	UNLESS OTHERWISE NOTED TO REMAIN, REMOVE ALL WALLCOVERINGS AND ALL OTHER ADHERED, APPLIED, OR HUNG WALL FINISHES (INCLUDING BUT NOT LIMITED TO HARD TILE AND WALL PANELING) THROUGHOUT THE ENTIRE EXTENTS OF THE AREA OF WORK.
6. TRIM AND MOLDINGS	UNLESS OTHERWISE NOTED TO REMAIN, REMOVE ALL TRIM WORK AND MOLDINGS COMPLETELY THROUGHOUT THE ENTIRE EXTENTS OF THE AREA OF WORK.
7. WINDOW TREATMENTS	A) ALL PERIMETER WINDOW TREATMENTS TO REMAIN THROUGHOUT THE ENTIRE EXTENTS OF THE AREA IF WORK. B) ALL MINI BLINDS AT EXISTING DOOR FRAMES TO REMAIN ARE TO BE REMOVED. PATCH AS NECESSARY FOR SMOOTH FINISH TO RECEIVE NEW FINISHES.
8. FF&E ITEMS:	THE REMOVAL OF ALL FURNITURE, EQUIPMENT, ARTWORK, ACCESSORIES, SIGNAGE, AND OTHER FF&E ITEMS SHALL BE THE RESPONSIBILITY OF THE OWNER. REMOVE ANY WALL-MOUNTED FASTENERS AND ANCHORS LEFT BEHIND FROM REMOVAL OF FF&E ITEMS.

KEYNOTES PER SHEET	
0241-04	EXISTING DOOR + HARDWARE TO BE REMOVED. EXISTING DOOR FRAME AND GLAZING TO REMAIN.
0241-05	EXISTING GLASS DOOR, SIDELIGHTS AND HARDWARE TO BE REMOVED.
0241-06	THROUGHOUT RESTROOM, COMPLETELY REMOVE ALL MILLWORK, PLUMBING FIXTURES AND FINISHES AS NECESSARY TO RECEIVE NEW FINISHES. SEE FLOOR PLANS FOR ADDITIONAL INFORMATION.
0241-07	COMPLETELY REMOVE EXISTING VISION WINDOW.
0241-08	COMPLETELY REMOVE EXISTING TRANSACTION WINDOW.
0241-09	COMPLETELY REMOVE EXISTING CASEWORK. EXISTING PLUMBING ROUGH-IN TO REMAIN FOR REUSE.
0241-10	COMPLETELY REMOVE EXISTING MILLWORK.
0241-11	REMOVE AND SALVAGE EXISTING DOOR FRAME AND GLAZING FOR RELOCATION.
0241-12	REMOVE EXISTING WALL SCONCES THROUGHOUT AREA OF WORK. PATCH AND REPAIR PARTITION TO RECEIVE NEW FINISHES.
0241-13	REMOVE EXISTING DOOR, FRAME AND HARDWARE. PREPARE OPENING TO RECEIVE RELOCATED DOOR FRAME.
0242-01	EXISTING CASEWORK TO REMAIN.
0242-02	EXISTING PROJECTOR SCREEN TO REMAIN



A1 SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"



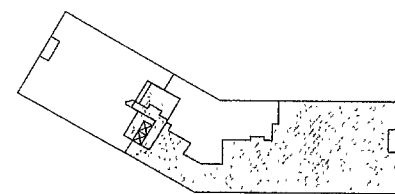
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PROJECT INFORMATION

**FIRST CITIZENS BANK
INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI**



KEY PLAN-2nd FLOOR

1" = 160'-0"

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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SHEET INFORMATION

PROJECT MANAGER LC
PROJECT NUMBER 217401-01

**SECOND FLOOR
DEMOLITION PLAN**

AD102

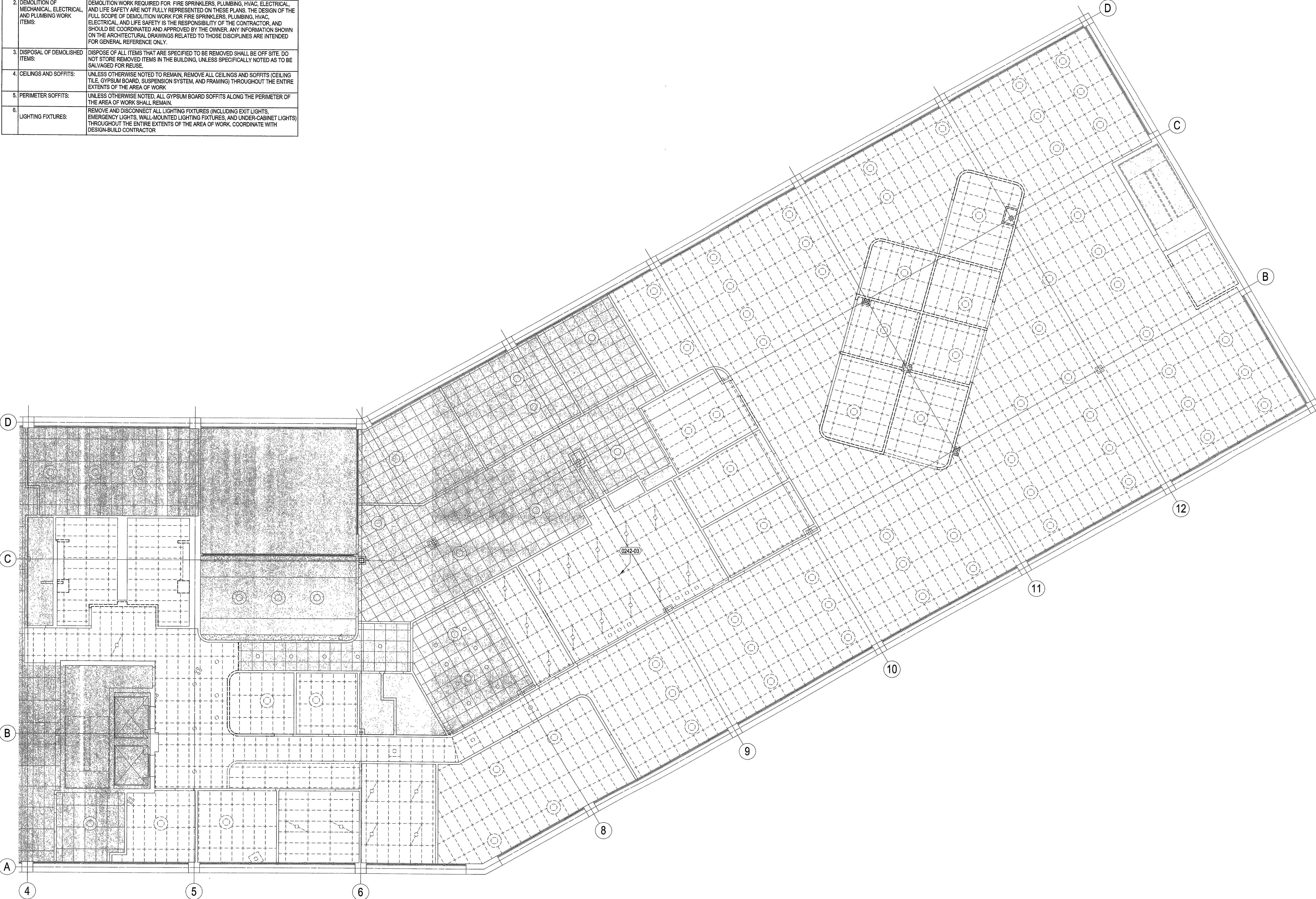
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GENERAL NOTES - CEILING DEMOLITION PLAN

1. EXISTING CONDITIONS:	PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE WORK AND EXISTING CONDITIONS.
2. DEMOLITION OF MECHANICAL, ELECTRICAL, AND PLUMBING WORK ITEMS:	DEMOLITION WORK REQUIRED FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF DEMOLITION WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
3. DISPOSAL OF DEMOLISHED ITEMS:	DISPOSE OF ALL ITEMS THAT ARE SPECIFIED TO BE REMOVED SHALL BE OFF SITE. DO NOT STORE REMOVED ITEMS IN THE BUILDING, UNLESS SPECIFICALLY NOTED AS TO BE SALVAGED FOR REUSE.
4. CEILINGS AND SOFFITS:	UNLESS OTHERWISE NOTED TO REMAIN, REMOVE ALL CEILINGS AND SOFFITS (CEILING TILE, GYPSUM BOARD, SUSPENSION SYSTEM, AND FRAMING) THROUGHOUT THE ENTIRE EXTENTS OF THE AREA OF WORK.
5. PERIMETER SOFFITS:	UNLESS OTHERWISE NOTED, ALL GYPSUM BOARD SOFFITS ALONG THE PERIMETER OF THE AREA OF WORK SHALL REMAIN.
6. LIGHTING FIXTURES:	REMOVE AND DISCONNECT ALL LIGHTING FIXTURES (INCLUDING EXIT LIGHTS, EMERGENCY LIGHTS, WALL-MOUNTED LIGHTING FIXTURES, AND UNDER-CABINET LIGHTS) THROUGHOUT THE ENTIRE EXTENTS OF THE AREA OF WORK. COORDINATE WITH DESIGN-BUILD CONTRACTOR.

KEYNOTES PER SHEET

0242-03 | EXISTING CEILING MOUNTED PROJECTOR TO REMAIN



1 SECOND FLOOR CEILING DEMOLITION
1/8" = 1'-0"



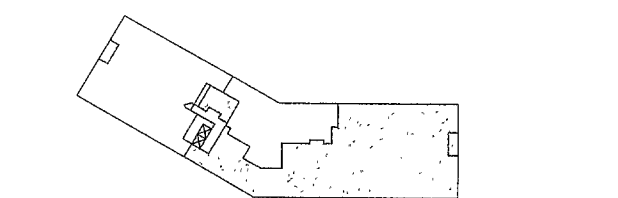
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PROJECT INFORMATION

FIRST CITIZENS BANK
INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI



KEY PLAN-2nd FLOOR
1" = 160'-0"

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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SHEET INFORMATION

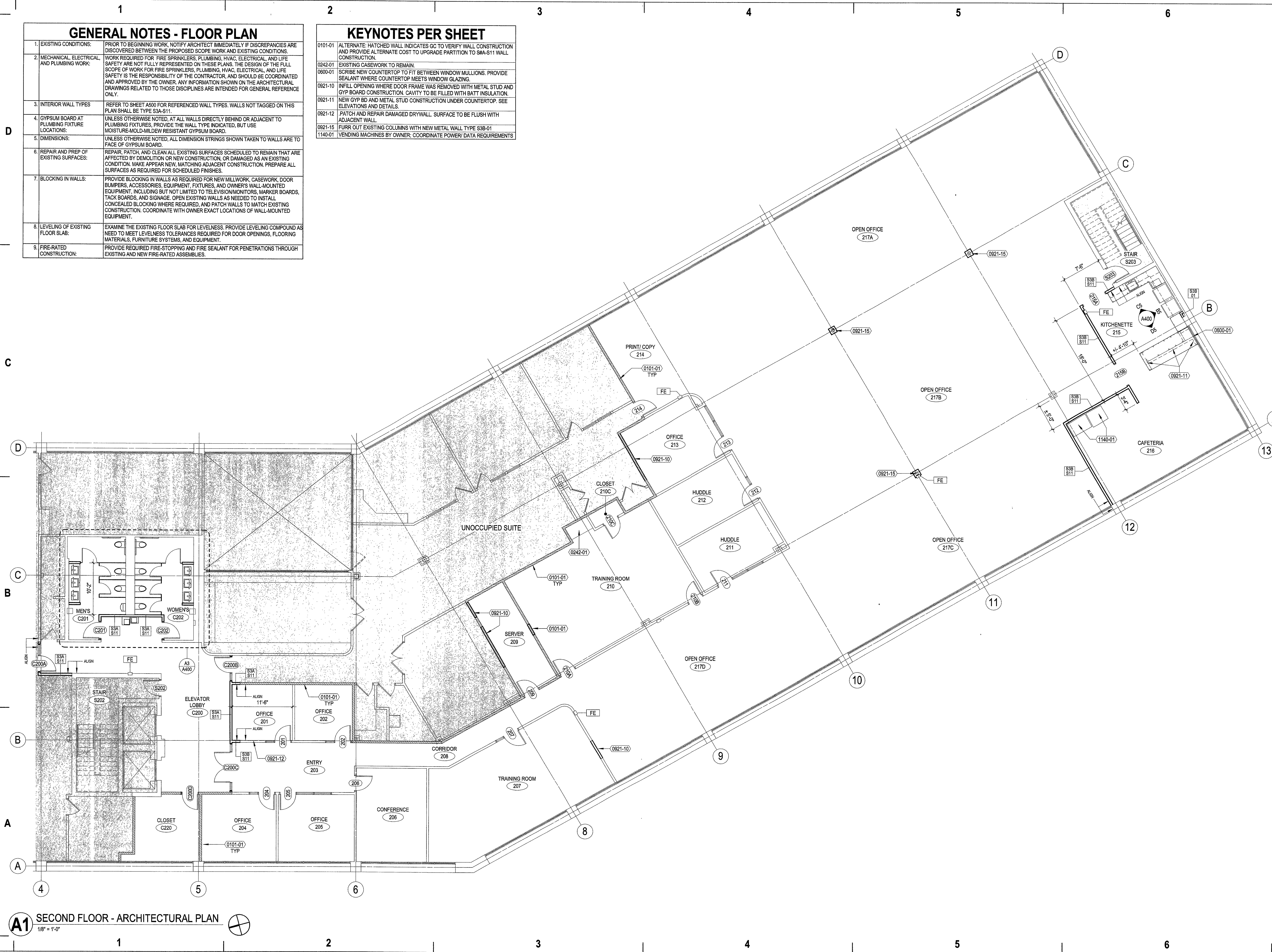
PROJECT MANAGER LC

PROJECT NUMBER 217401-01

SECOND FLOOR
CEILING DEMOLITION
PLAN

AD112

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GENERAL NOTES - FLOOR PLAN

1. EXISTING CONDITIONS:	PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE WORK AND EXISTING CONDITIONS.
2. MECHANICAL, ELECTRICAL, AND PLUMBING WORK:	WORK REQUIRED FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
3. INTERIOR WALL TYPES:	REFER TO SHEET A500 FOR REFERENCED WALL TYPES. WALLS NOT TAGGED ON THIS PLAN SHALL BE TYPE S3A-S11.
4. GYPSUM BOARD AT PLUMBING FIXTURE LOCATIONS:	UNLESS OTHERWISE NOTED, AT ALL WALLS DIRECTLY BEHIND OR ADJACENT TO PLUMBING FIXTURES, PROVIDE THE WALL TYPE INDICATED, BUT USE MOISTURE-MOLD-MILDEW RESISTANT GYPSUM BOARD.
5. DIMENSIONS:	UNLESS OTHERWISE NOTED, ALL DIMENSION STRINGS SHOWN TAKEN TO WALLS ARE TO FACE OF GYPSUM BOARD.
6. REPAIR AND PREP OF EXISTING SURFACES:	REPAIR, PATCH, AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION, OR DAMAGED AS AN EXISTING CONDITION. MAKE APPEAR NEW, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES.
7. BLOCKING IN WALLS:	PROVIDE BLOCKING IN WALLS AS REQUIRED FOR NEW MILLWORK, CASEWORK, DOOR BUMPERS, ACCESSORIES, EQUIPMENT, FIXTURES, AND OWNERS WALL-MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO TELEVISION/MONITORS, MARKER BOARDS, TACK BOARDS, AND SIGNAGE. OPEN EXISTING WALLS AS NEEDED TO INSTALL CONCEALED BLOCKING WHERE REQUIRED, AND PATCH WALLS TO MATCH EXISTING CONSTRUCTION. COORDINATE WITH OWNER EXACT LOCATIONS OF WALL-MOUNTED EQUIPMENT.
8. LEVELING OF EXISTING FLOOR SLAB:	EXAMINE THE EXISTING FLOOR SLAB FOR LEVELNESS. PROVIDE LEVELING COMPOUND AS NEEDED TO MEET LEVELNESS TOLERANCES REQUIRED FOR DOOR OPENINGS, FLOORING MATERIALS, FURNITURE SYSTEMS, AND EQUIPMENT.
9. FIRE-RATED CONSTRUCTION:	PROVIDE REQUIRED FIRE-STOPPING AND FIRE SEALANT FOR PENETRATIONS THROUGH EXISTING AND NEW FIRE-RATED ASSEMBLIES.

KEYNOTES PER SHEET

0101-01	ALTERNATE: HATCHED WALL INDICATES GC TO VERIFY WALL CONSTRUCTION AND PROVIDE ALTERNATE COST TO UPGRADE PARTITION TO S3A-S11 WALL CONSTRUCTION.
0242-01	EXISTING CASEWORK TO REMAIN.
0600-01	SCRIBE NEW COUNTERTOP TO FIT BETWEEN WINDOW MULLIONS. PROVIDE SEALANT WHERE COUNTERTOP MEETS WINDOW GLAZING.
0921-10	INFILL OPENING WHERE DOOR FRAME WAS REMOVED WITH METAL STUD AND GYP BOARD CONSTRUCTION. CAVITY TO BE FILLED WITH BATT INSULATION.
0921-11	NEW GYP BD AND METAL STUD CONSTRUCTION UNDER COUNTERTOP. SEE ELEVATIONS AND DETAILS.
0921-12	PATCH AND REPAIR DAMAGED DRYWALL. SURFACE TO BE FLUSH WITH ADJACENT WALL.
0921-15	FURR OUT EXISTING COLUMNS WITH NEW METAL WALL TYPE S3B-01
1140-01	VENDING MACHINES BY OWNER. COORDINATE POWER/ DATA REQUIREMENTS



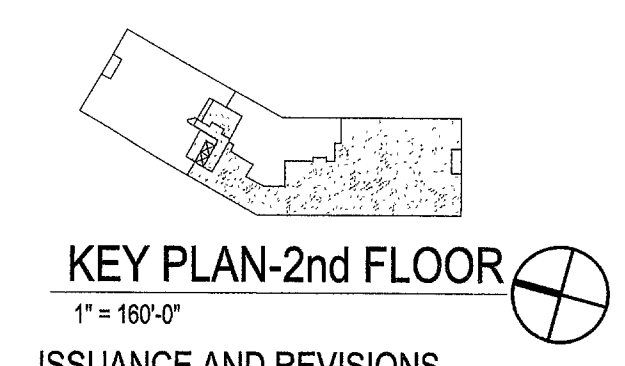
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PROJECT INFORMATION

FIRST CITIZENS BANK
INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI



ISSUANCE AND REVISIONS	
DATE	DESCRIPTION

SHEET INFORMATION

PROJECT MANAGER	LC
PROJECT NUMBER	217401-01

SECOND FLOOR
PLAN

A102

GENERAL NOTES - CEILING PLAN

1. EXISTING CONDITIONS:	PRIOR TO BEGINNING WORK, NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED BETWEEN THE PROPOSED SCOPE WORK AND EXISTING CONDITIONS.
2. MECHANICAL, ELECTRICAL, AND PLUMBING WORK:	WORK REQUIRED FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY ARE NOT FULLY REPRESENTED ON THESE PLANS. THE DESIGN OF THE FULL SCOPE OF WORK FOR FIRE SPRINKLERS, PLUMBING, HVAC, ELECTRICAL, AND LIFE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, AND SHOULD BE COORDINATED AND APPROVED BY THE OWNER. ANY INFORMATION SHOWN ON THE ARCHITECTURAL DRAWINGS RELATED TO THOSE DISCIPLINES ARE INTENDED FOR GENERAL REFERENCE ONLY.
3. DIMENSIONS:	UNLESS OTHERWISE NOTED, ALL DIMENSION STRINGS SHOWN TAKEN TO WALLS ARE TO FACE OF GYPSUM BOARD.
4. REPAIR AND PREP OF EXISTING SURFACES:	REPAIR, PATCH, AND CLEAN ALL EXISTING SURFACES SCHEDULED TO REMAIN THAT ARE AFFECTED BY DEMOLITION OR NEW CONSTRUCTION, OR DAMAGED AS AN EXISTING CONDITION. MAKE APPEAR NEW, MATCHING ADJACENT CONSTRUCTION. PREPARE ALL SURFACES AS REQUIRED FOR SCHEDULED FINISHES.
5. SCOPE OF LIGHTING WORK:	REFER TO SHEET NOTE ABOVE REGARDING ELECTRICAL WORK. THE LIGHTING LAYOUT SHOWN ON THIS PLAN ARE FOR GENERAL REFERENCE ONLY. THE ELECTRICAL DESIGN-BUILD SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LIGHTING DESIGN, SUCH THAT THE QUANTITY, TYPE, AND PLACEMENT OF LIGHTING FIXTURES ARE IN COMPLIANCE WITH THE GOVERNING ENERGY CONSERVATION CODES. THE DESIGN SHALL INCLUDE EMERGENCY AND EGRESS LIGHTING TO MEET APPLICABLE CODES. OBTAIN APPROVAL OF THE LIGHTING DESIGN, INCLUDING BUT NOT LIMITED TO SELECTIONS, QUANTITIES, EXACT PLACEMENT, AND CONTROLS FROM THE TENANT. COORDINATE LIGHTING FIXTURE LAYOUT WITH OTHER TRADES, TO AVOID CONFLICTS WITH OTHER CEILING ITEMS.
6. FIRE-RATED CONSTRUCTION:	PROVIDE REQUIRED FIRE-STOPPING AND FIRE SEALANT FOR PENETRATIONS THROUGH EXISTING AND NEW FIRE-RATED ASSEMBLIES.



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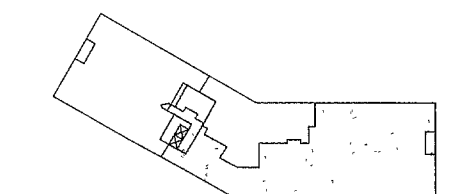
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PROJECT INFORMATION

**FIRST CITIZENS BANK
INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI**



KEY PLAN-2nd FLOOR

1" = 160'-0"

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
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SHEET INFORMATION

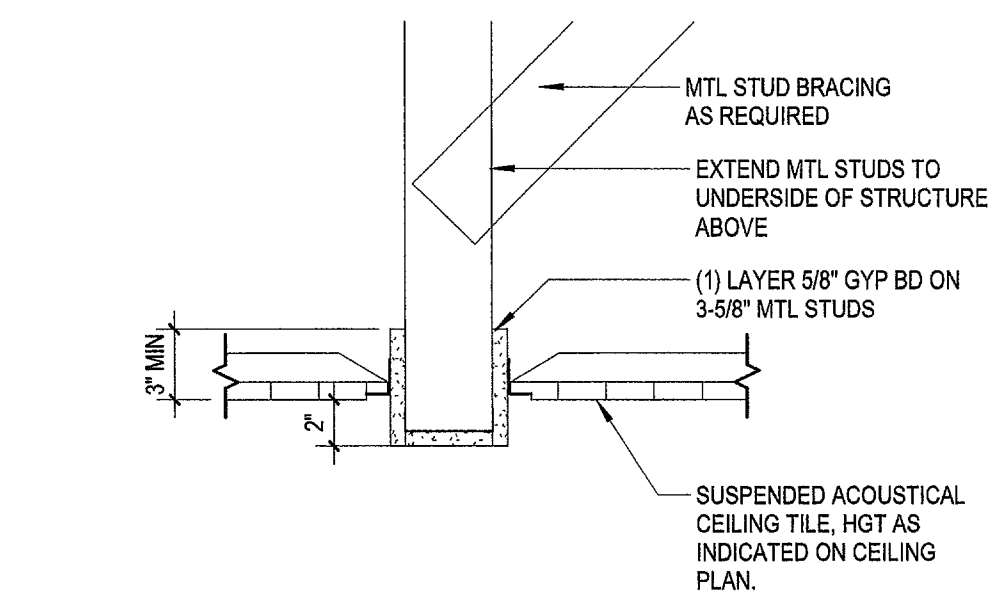
PROJECT MANAGER LC

PROJECT NUMBER 217401-01

SECOND FLOOR CEILING PLAN

A112

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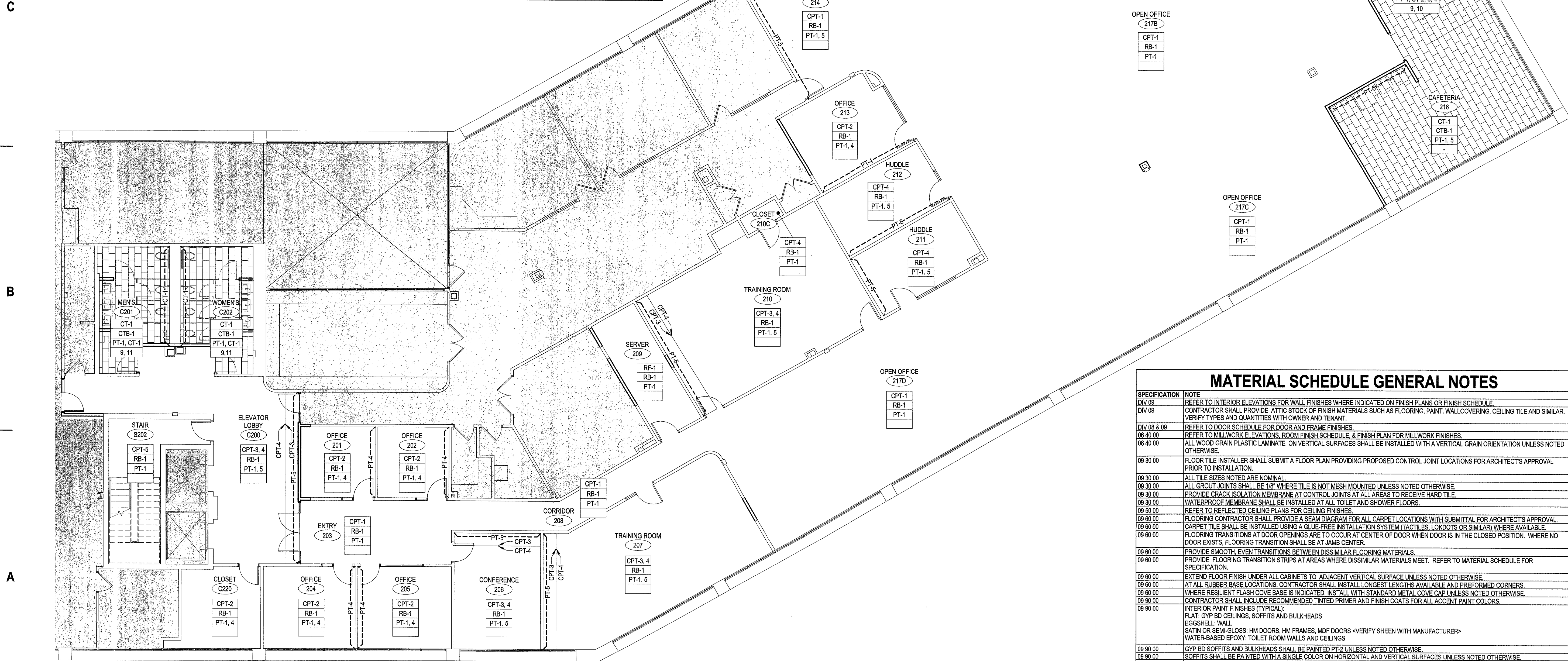


A6 BULKHEAD @ SUSPENDED ACT
1 1/2" = 1'-0"

A1 SECOND FLOOR - CEILING PLAN
1/8" = 1'-0"

MATERIAL SCHEDULE								
CODE	DESCRIPTION	LOCATION	MANUFACTURER	PRODUCT #	COLOR	FINISH	SIZE	CONTACT
A								
ACT-1	ACOUSTICAL CEILING TILE	GENERAL	ARMSTRONG	1952 ULTIMA BEVELED REGULAR 9/16"	WHITE	-	24" X 24"	PATRICK MELOY 608-294-8446
ACT-2	ACOUSTICAL CEILING TILE	RESTROOMS	ARMSTRONG	1996 ULTIMA HEALTH ZONE BEVELED REGULAR 9/16"	WHITE	-	24" X 24"	PATRICK MELOY 608-294-8446
C								
CPT-1	CARPET	OPEN OFFICE	MOHAWK	LATE NIGHT	968 DASHING	-	24" X 24"	KERRY TYLKE 414-801-3394
CPT-2	CARPET	PRIVATE OFFICE	MOHAWK	INTO IT	969 COCOA	-	24" X 24"	KERRY TYLKE 414-801-3394
CPT-3	CARPET	ACCENT	MOHAWK	POP ICON	969 TRENDY	-	24" X 24"	KERRY TYLKE 414-801-3394
CPT-4	CARPET	CONFERENCE ROOMS	MOHAWK	POP ICON	939 INSTYLE	-	24" X 24"	KERRY TYLKE 414-801-3394
CPT-5	CARPET	STAIRWELLS	MOHAWK	CHILLED CHECK	969 COCOA	-	BROADLOOM	KERRY TYLKE 414-801-3394
CT-1	CERAMIC TILE	RESTROOMS & WORK CAFE	DALTILE	SLATE ATTACHE	META DARK GRAY SA07	-	12" X 24"	HOPE DACHEL 414-405-5198
CT-2	CERAMIC TILE	WORK CAFE	AMERICAN OLEAN	URBAN CANVAS	DESIGNER WHITE	MATTE	4" X 12"	CHRIS KENNEDY 414-630-4617
CT-3	CERAMIC TILE	WORK CAFE	AMERICAN OLEAN	URBAN CANVAS	ICE WHITE	BRIGHT	4" X 12"	CHRIS KENNEDY 414-630-4617
CT-4	GLASS TILE	WORK CAFE	RBC TILE & STONE	OCEANSIDE - BLUE	ACCENT BLUE	-	3/4" X 3-3/8" OFFSET JOINT MOSAIC	ANDREA SAVAGE 414-698-6168
CTB-1	CERAMIC TILE BASE	RESTROOMS & WORK CAFE	DALTILE	SLATE ATTACHE	META DARK GRAY SA07	-	4" X 24"	HOPE DACHEL 414-405-5198
G								
GT-1	GROUT	USE WITH CT-1 & CTB-1	BOSTIK	-	DELOREAN GRAY H160	-	-	ANDREA SAVAGE 414-698-6168
GT-2	GROUT	USE WITH CT-2, 3 & 4	BOSTIK	-	WHITE H102	-	-	ANDREA SAVAGE 414-698-6168
GL-1	GLASS	DOORS & FRAMES	-	FULLY TEMPERED GLASS	-	-	-	ANDREA SAVAGE 414-698-6168
L								
LAM-1	LAMINATE	WORK CAFE - VERTICAL	FORMICA	-	WHITE ASH 8841	WOODBUSH WR	-	PATTY SCHELL 414-840-0664
P								
PT-1	PAINT	GENERAL	SHERWIN WILLIAMS	SW 7035	AESTHETIC WHITE	EGGSHELL	-	SUSAN SIENKOWSKI 312-656-0622
PT-2	PAINT	CEILINGS	SHERWIN WILLIAMS	SW 7037	CEILING WHITE BRIGHT	FLAT	-	SUSAN SIENKOWSKI 312-656-0622
PT-3	PAINT	HOLLOW METAL TRIM	SHERWIN WILLIAMS	SW 7019	GAUNTLET GRAY	SEMI GLOSS	-	SUSAN SIENKOWSKI 312-656-0622
PT-4	PAINT	GRAY ACCENT	SHERWIN WILLIAMS	SW 7018	DOVETAIL	EGGSHELL	-	SUSAN SIENKOWSKI 312-656-0622
PT-5	PAINT	TEAL ACCENT	SHERWIN WILLIAMS	SW 6495	GREAT FALLS	EGGSHELL	-	SUSAN SIENKOWSKI 312-656-0622
PT-6	PAINT	EXPOSED CEILINGS	SHERWIN WILLIAMS	SW 7019	GAUNTLET GRAY	FLAT	-	SUSAN SIENKOWSKI 312-656-0622
R								
RF-1	RESILIENT FLOORING	SERVER ROOM	JOHNSONITE	IQ GRANIT STATIC DISSIPATIVE VINYL FLOORING	RAW IVORY	-	24" X 24"	HEATHER THEKAN 262-437-0094
RB-1	RESILIENT BASE	GENERAL	ROPPE	RUBBER WALL BASE	114 LUNAR DUST	-	4"	LIZ NELSON 262-227-1677
S								
SS-1	QUARTZ	RESTROOMS & WORK CAFE	CAMBRIA	-	TEMPLETON 0230	-	3CM	KARLYN JOHNSON 414-399-0282
ST-1	STAIN	DOOR STAIN COLOR	-	-	TO MATCH WILSONART WALNUT HEIGHTS 7965	-	-	WILSONART REP. SHPRESA TAIRI 414-630-9414
T								
TP-1	TOILET PARTITION	RESTROOMS	SCRANTON PRODUCTS	HINY HIDERS	SHALE	ORANGE PEEL	-	RICH GROSS 224-775-2275
TR-1	TRANSITION	CARPET TO CERAMIC TILE	SCHLUTER SYSTEMS	SCHIENE-E	TBD	-	-	HOPE DACHEL 414-405-5198
TR-2	TRANSITION	MATERIALS OF DIFFERENT THICKNESSES	SCHLUTER SYSTEMS	RENO-MTK	TBD	-	-	HOPE DACHEL 414-405-5198
TR-3	TRANSITION	EXPOSED EDGE OF CERAMIC TILE	SCHLUTER SYSTEMS	JOLLY	TBD	-	-	HOPE DACHEL 414-405-5198

MATERIAL SCHEDULE REMARKS										
1	ACT SUSPENSION SYSTEM TO BE ARMSTRONG SUPRAPINE XL 9/16" EXPOSED TEE									
2	INSTALLATION: QUARTER-TURNED									
3	INSTALLATION: MONOLITHIC									
4	INSTALLATION: BRICK ASHLAR									
5	INSTALLATION: 1/3 RUNNING BOND									
6	CUT TILE IN THIRDS AND INSTALL WITH TR-3 ON TOP EDGE. DO NOT INSTALL ON FULL TILE WALLS									
7	SQUARE EDGE									
8	RUN LENGTH HORIZONTALLY WHEN INSTALLED ON WALLS									
9	COUNTERS: SS-1									
10	CASEWORK: LAM-1									
11	PLUMBING SHROUD: LAM-1									



MATERIAL SCHEDULE GENERAL NOTES	
SPECIFICATION	NOTE
DIV 09	REFER TO INTERIOR ELEVATIONS FOR WALL FINISHES WHERE INDICATED ON FINISH PLANS OR FINISH SCHEDULE.
DIV 09	CONTRACTOR SHALL PROVIDE ATTIC STOCK OF FINISH MATERIALS SUCH AS FLOORING, PAINT, WALLCOVERING, CEILING TILE AND SIMILAR. VERIFY TYPES AND QUANTITIES WITH OWNER AND TENANT.
DIV 08 & 09	REFER TO DOOR SCHEDULE FOR DOOR AND FRAME FINISHES.
06 40 00	REFER TO MILLWORK ELEVATIONS, ROOM FINISH SCHEDULE, & FINISH PLAN FOR MILLWORK FINISHES.
06 40 00	ALL WOOD GRAIN PLASTIC LAMINATE ON VERTICAL SURFACES SHALL BE INSTALLED WITH A VERTICAL GRAIN ORIENTATION UNLESS NOTED OTHERWISE.
09 30 00	FLOOR TILE INSTALLER SHALL SUBMIT A FLOOR PLAN PROVIDING PROPOSED CONTROL JOINT LOCATIONS FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
09 30 00	ALL TILE SIZES NOTED ARE NOMINAL.
09 30 00	ALL GROUT JOINTS SHALL BE 1/8" WHERE TILE IS NOT MESH MOUNTED UNLESS NOTED OTHERWISE.
09 30 00	PROVIDE CRACK ISOLATION MEMBRANE AT CONTROL JOINTS AT ALL AREAS TO RECEIVE HARD TILE.
09 30 00	WATERPROOF MEMBRANE SHALL BE INSTALLED AT ALL TOILET AND SHOWER FLOORS.
09 60 00	REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.
09 60 00	FLOORING CONTRACTOR SHALL PROVIDE A SEAM DIAGRAM FOR ALL CARPET LOCATIONS WITH SUBMITTAL FOR ARCHITECT'S APPROVAL.
09 60 00	CARPET TILE SHALL BE INSTALLED USING A GLUE-FREE INSTALLATION SYSTEM (TACTILES, LOKDOTS OR SIMILAR) WHERE AVAILABLE.
09 60 00	FLOORING TRANSITIONS AT DOOR OPENINGS ARE TO OCCUR AT CENTER OF DOOR WHEN DOOR IS IN THE CLOSED POSITION. WHERE NO DOOR EXISTS, FLOORING TRANSITION SHALL BE AT JAMB CENTER.
09 60 00	PROVIDE SMOOTH, EVEN TRANSITIONS BETWEEN DISSIMILAR FLOORING MATERIALS.
09 60 00	PROVIDE FLOORING TRANSITION STRIPS AT AREAS WHERE DISSIMILAR MATERIALS MEET. REFER TO MATERIAL SCHEDULE FOR SPECIFICATION.
09 60 00	EXTEND FLOOR FINISH UNDER ALL CABINETS TO ADJACENT VERTICAL SURFACE UNLESS NOTED OTHERWISE.
09 60 00	AT ALL RUBBER BASE LOCATIONS, CONTRACTOR SHALL INSTALL LONGEST LENGTHS AVAILABLE AND PREFORMED CORNERS.
09 60 00	WHERE RESILIENT FLASH COVE BASE IS INDICATED, INSTALL WITH STANDARD METAL COVE CAP UNLESS NOTED OTHERWISE.
09 90 00	CONTRACTOR SHALL INCLUDE RECOMMENDED TINTED PRIMER AND FINISH COATS FOR ALL ACCENT PAINT COLORS.
09 90 00	INTERIOR PAINT FINISHES (TYPICAL):
09 90 00	EGGSHELL: WALL
09 90 00	SATIN OR SEMI-GLOSS: HM DOORS, HM FRAMES, MDF DOORS <VERIFY SHEEN WITH MANUFACTURER>
09 90 00	WATER-BASED EPOXY: TOILET ROOM WALLS AND CEILINGS
09 90 00	GYP BD SOFFITS AND BULKHEADS SHALL BE PAINTED PT-2 UNLESS NOTED OTHERWISE.
09 90 00	SOFFITS SHALL BE PAINTED WITH A SINGLE COLOR ON HORIZONTAL AND VERTICAL SURFACES UNLESS NOTED OTHERWISE.
09 90 00	ALL EXPOSED CEILINGS, INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ELEMENTS SHALL BE PAINTED PT-6 UNLESS NOTED OTHERWISE.
09 90 00	ALL HANDRAILS, GUARDRAILS AND TRIM SHALL BE PAINTED PT-3 UNLESS NOTED OTHERWISE.
09 90 00	PAINT ALL FIRE EXTINGUISHER CABINETS, ACCESS PANELS, MECHANICAL DIFFUSERS, AND ELECTRICAL PANELS TO MATCH SURFACE ON WHICH THEY OCCUR.
09 90 00	ALL WOOD CLEATS SUPPORTING COUNTERTOPS TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS OTHERWISE NOTED.
10 20 00	ALL CORNER GUARDS SHALL BE INSTALLED WITH BOTTOM EDGE ALIGNING AT TOP OF WALL BASE.

1 SECOND FLOOR FINISH PLAN
1/8" = 1'-0"



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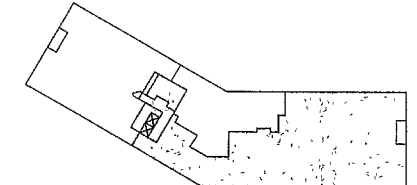
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PROJECT INFORMATION

FIRST CITIZENS BANK
INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI



KEY PLAN-2nd FLOOR
1" = 160'-0"

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

SHEET INFORMATION

PROJECT MANAGER LC

PROJECT NUMBER 217401-01

SECOND FLOOR
FINISH PLAN

A122

KEYNOTES PER SHEET

0641-41	END PNL @ EXPOSED ENDS
0641-78	PROVIDE VALANCE RETURN ONLY @ EXPOSED ENDS OF CABINETS
0641-79	FILLER PANEL
1021-01	NEW FLOOR MOUNTED TOILET PARTITIONS.
1246-34	NEW FULL WIDTH MIRROR

PLUMBING FIXTURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURE	MODEL	SIZE			REMARKS
				WIDTH	DEPTH	HEIGHT	
DF01	High Low Drinking Fountains	ELKAY	EZSTLW8V(R)S	1'-5 7/8"	1'-3"	9"	
F01	Touchless Faucet with Mixer	AMERICAN STANDARD	775B.103				
SK01	Sink - Single Bowl	KOHLER	K-2882	1'-8"	1'-4"	7"	
SK02	Sink - Single Bowl	ELKAY	LRAD2521	2'-1"	1'-9"	6 1/2"	
UR01	Urinal - Wall Mount	AMERICAN STANDARD	3351.712.1				
WC01	Toilet - Wall Mount	AMERICAN STANDARD	6590.505				

TOILET ROOM ACCESSORY SCHEDULE

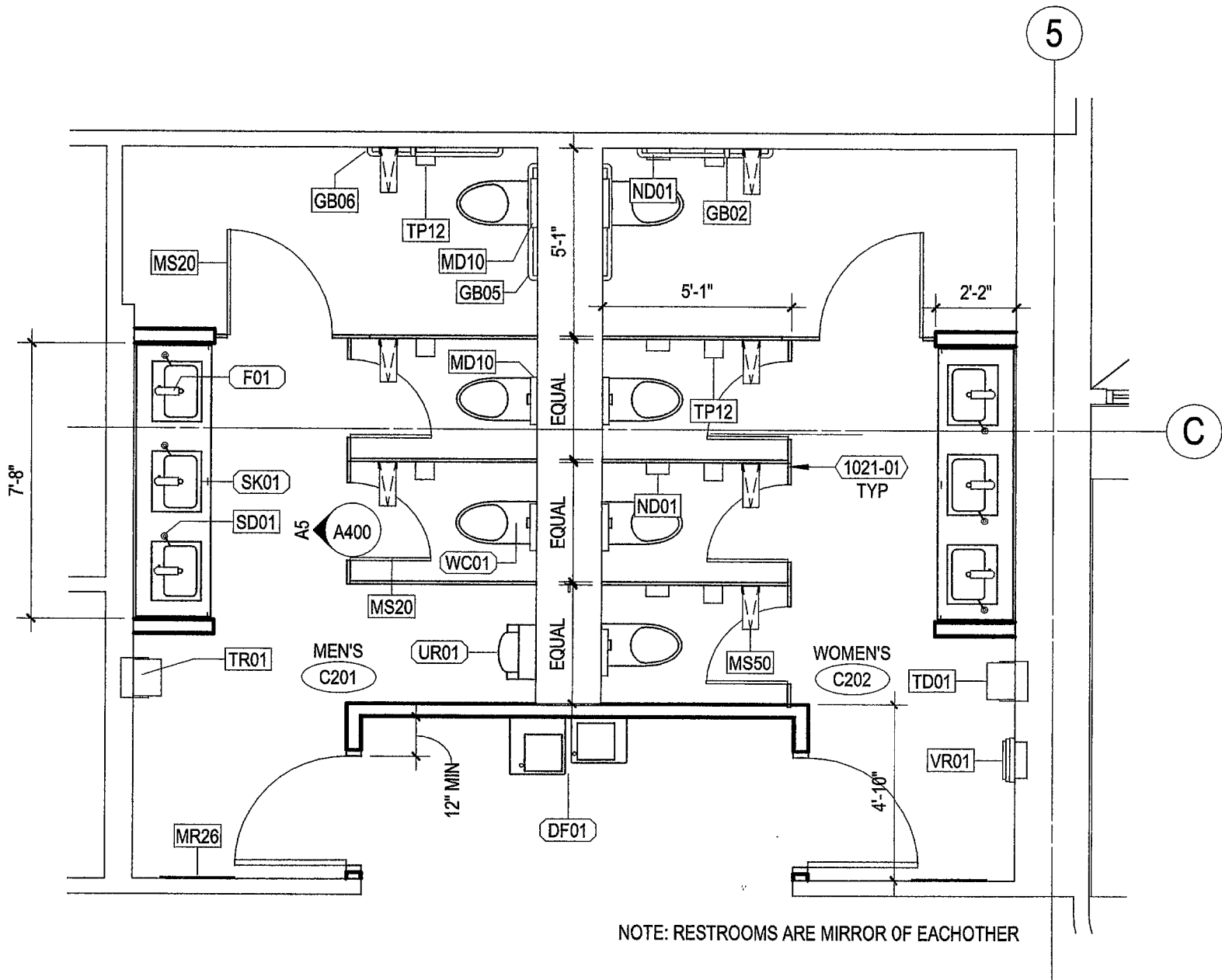
QTY	TAG	DESCRIPTION	MANUFACTURER	MODEL	SIZE (AS REQUIRED)				REMARKS
					WIDTH	DEPTH	LENGTH	HGT	
2	GB02	Grab Bar Straight	BOBRICK	B-5806 x 18				1'-6"	
2	GB05	Grab Bar Straight	BOBRICK	B-5806 x 36				3'-0"	
2	GB08	Grab Bar Straight	BOBRICK	B-5806 x 42				3'-6"	
7	MD10	Seat Cover Dispenser	BOBRICK	B-4221	1'-3 3/4"	2 3/16"		11 1/4"	
2	MR26	Mirror with Frame	BOBRICK	B-165 2460	2'-0"	1/2"		5'-0"	
1	MS20	Clothes Hook Surface Mount	BOBRICK	B-212					
7	MS50	Folding Utility Shelf	BOBRICK	B-287	5 13/16"	1'-2 9/16"		2 3/8"	
4	ND01	Surface Mount Napkin Disposal	BOBRICK	B-270	7 1/2"	3 13/16"		10"	WOMEN'S RESTROOM ONLY
6	SD01	Soap Dispenser Counter	BOBRICK	B-628				3"	
2	TD01	Roll Paper Towel Dispenser	GP	59498A	1'-0 1/2"	9 1/8"		1'-3 3/4"	
7	TP12	Dual Partition Mounted Toilet Paper Dispenser	BOBRICK	B-4288	6 1/16"	5 15/16"		11"	
2	TR01	Waste Receptacle	BOBRICK	B-43644	1'-3 1/4"	8 15/16"		2'-3 3/4"	
1	VR01	Semi-Recessed Napkin Dispenser	BOBRICK	B-47084	1'-2 1/2"	7 15/16"		2'-4 1/2"	

EQUIPMENT SCHEDULE

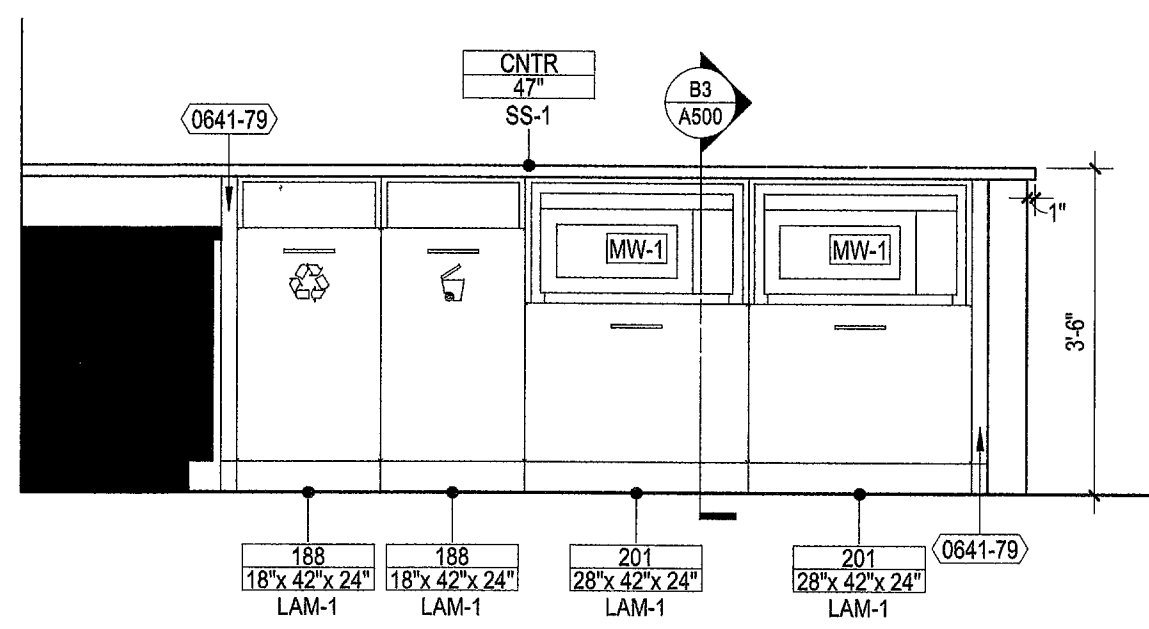
MARK	TYPE	MANUFACTURE	MODEL	WIDTH	HEIGHT	DEPTH	PURCHASED BY		INSTALLED BY		Comments
							OWNER	GC	OWNER	GC	
REF-1	REFRIGERATOR	GE	GTE21GSHSS	32 7/8"	66 3/4"	34"			X		X
MW-1	MICROWAVE	GE	PEST227SLSS	24 1/8"	14"	19 3/4"			X		X
WC-1	WATER COOLER	FOLLETT	7 SERIES (VERIFY MODEL W/ OWNER)						X		X
FE-1	FIRE EXTINGUISHER	(OPEN)		9 1/2"	2'-0"	6"			X		X

GENERAL NOTES - MILLWORK

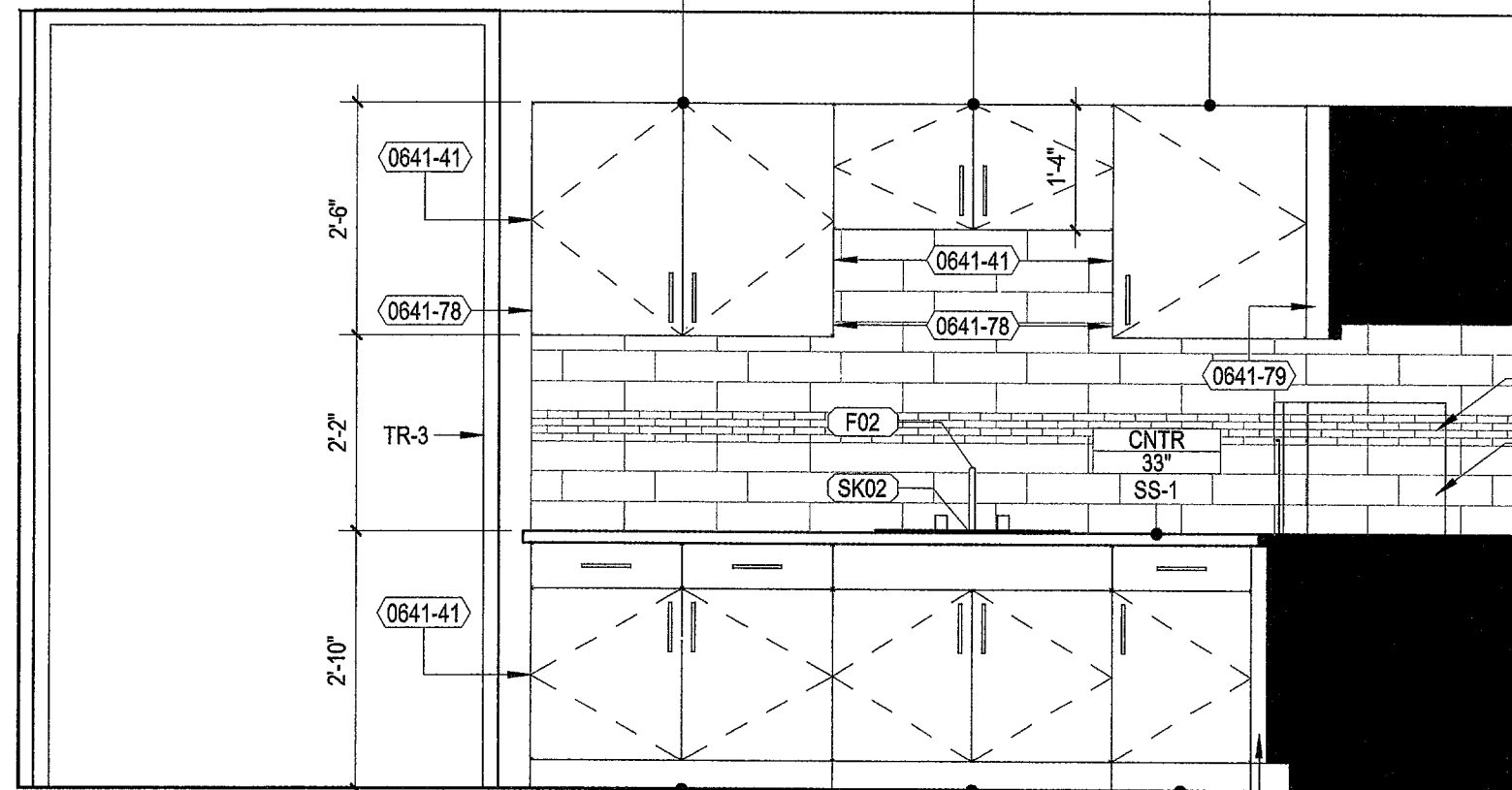
1. FIELD VERIFICATION OF DIMENSIONS:	PRIOR TO FABRICATION AND ORDERING OF MATERIALS, FIELD-VERIFY ALL CRITICAL DIMENSIONS FOR COORDINATING THE SIZING OF CASEWORK, MILLWORK, AND OTHER DIMENSION-CRITICAL ITEMS AND MATERIALS.
2. OPENINGS/CLEARANCES FOR APPLIANCES EQUIPMENT:	PRIOR TO FABRICATION AND ORDERING OF MATERIALS, CONFIRM AND COORDINATE THE REQUIRED OPENING AND CLEARANCE DIMENSIONS FOR ALL APPLIANCES AND EQUIPMENT THAT ARE BUILT INTO OR ARE ADJACENT TO CASEWORK, MILLWORK, WALL OPENINGS, ETC.
3. FINISH OF EXPOSED AND SEMI-EXPOSED CASEWORK SURFACES:	AT ALL EXPOSED AND SEMI-EXPOSED SURFACES OF CASEWORK, PROVIDE FACING MATERIAL/FINISH AS INDICATED ON THE ELEVATIONS.
4. FINISH OF NON-EXPOSED INTERIOR CASEWORK SURFACES:	AT ALL NON-EXPOSED INTERIOR SURFACES OF CASEWORK, PROVIDE WHITE MELAMINE FINISH.
5. CASEWORK FILLER PANELS:	WHERE CABINETRY / CASEWORK MEET EACH OTHER AT AN INSIDE CORNER, OR TERMINATES AT AN ADJOINING WALL, PROVIDE A MINIMUM OF 2" WIDE FILLER PANEL, OF SAME FINISH MATERIAL AS THE CABINET FACES, SCRIBED TO THE EXACT PROFILE NEEDED.
6. EXPOSED ENDS OF CASEWORK:	AT ALL EXPOSED FACES OF ENDS OF CABINETRY / CASEWORK, PROVIDE THE SAME FINISH MATERIAL AS THE CABINET FACES, UNLESS OTHERWISE NOTED.
7. ADJUSTABLE SHELVING:	PROVIDE ADJUSTABLE SHELVING WITH PEG SHELF RESTS AT ALL CASEWORK, UNLESS OTHERWISE NOTED. REFER TO SHELVING QUANTITY DIAGRAM.
8. SEALANT AT WALL:	PROVIDE SEALANT ALONG EDGE OF CASEWORK, COUNTERTOPS, AND BACKSPLASH WHERE THEY MEET THE WALL.



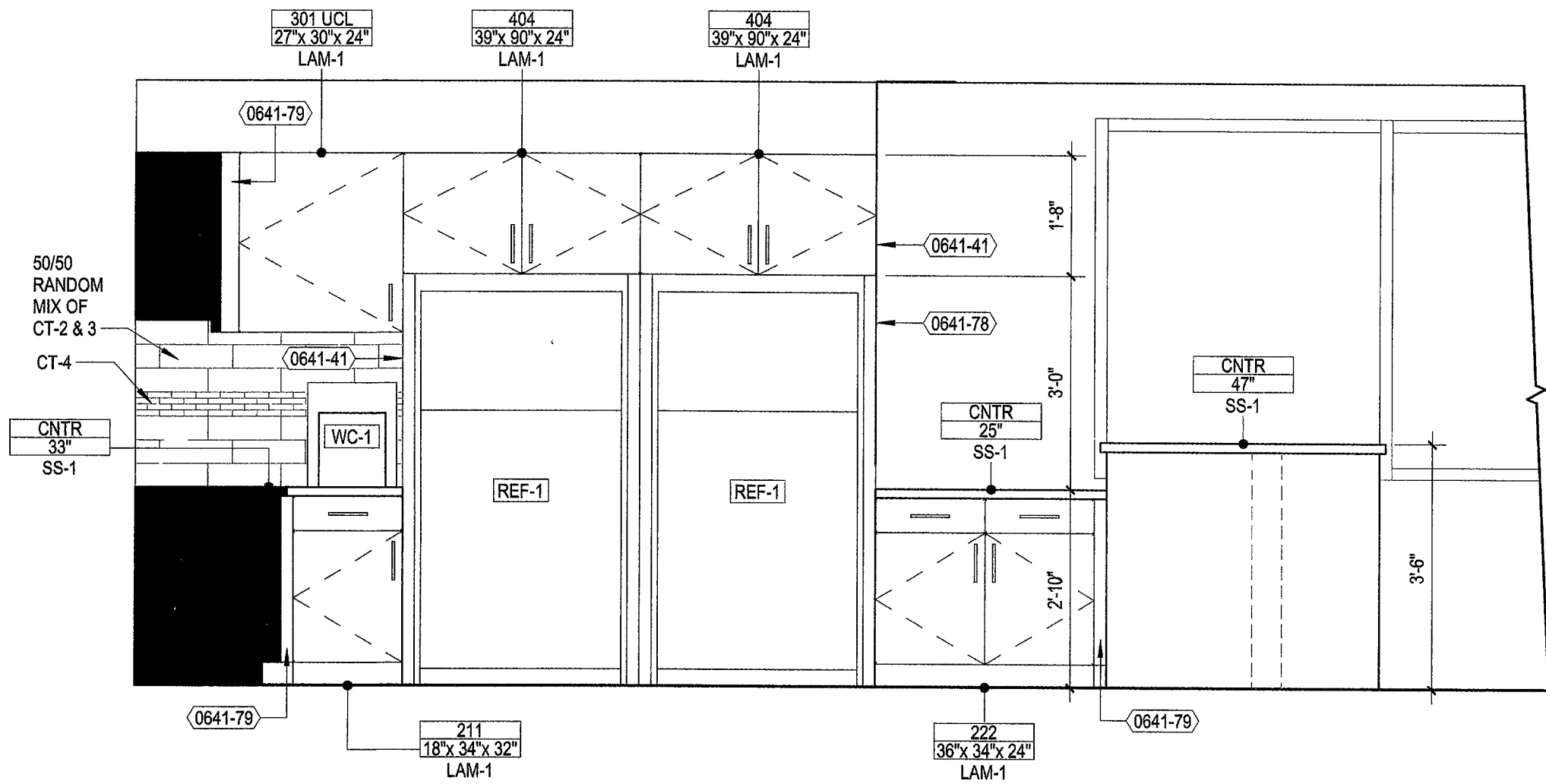
A3 ENLARGED RESTROOM
1/4" = 1'-0"



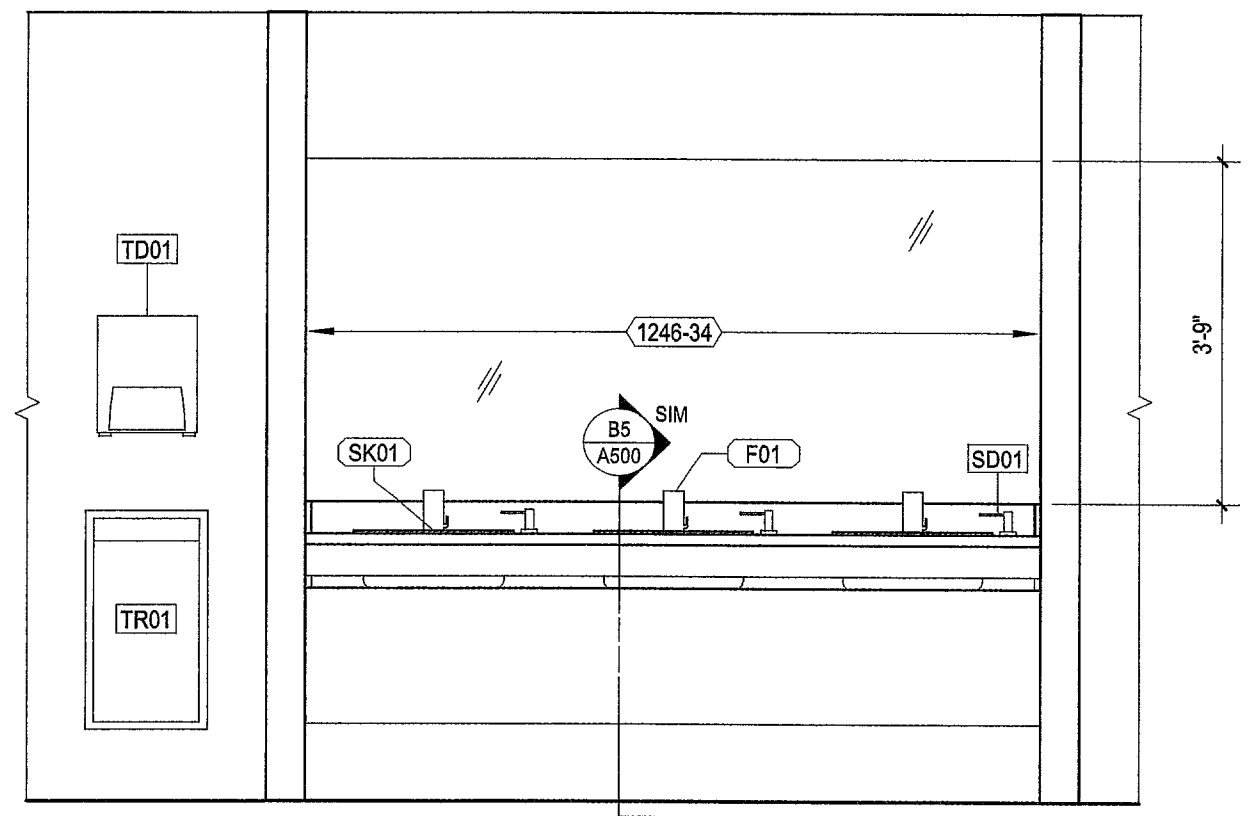
D5 KITCHENETTE C
1/2" = 1'-0"



C5 KITCHENETTE A
1/2" = 1'-0"



B5 KITCHENETTE B
1/2" = 1'-0"



A5 RESTROOM A
1/2" = 1'-0"



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d e s m o i n e s	699 Walnut Street, Suite 400 Des Moines, Iowa 50309 515.724.5840
d e n v e r	1899 Wynkoop Street, Suite 300 Denver, Colorado 80202 303.595.4500



PROJECT INFORMATION

FIRST CITIZENS BANK
INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

SHEET INFORMATION

PROJECT MANAGER	LC
PROJECT NUMBER	217401-01

ENLARGED PLANS +
ELEVATIONS

A400

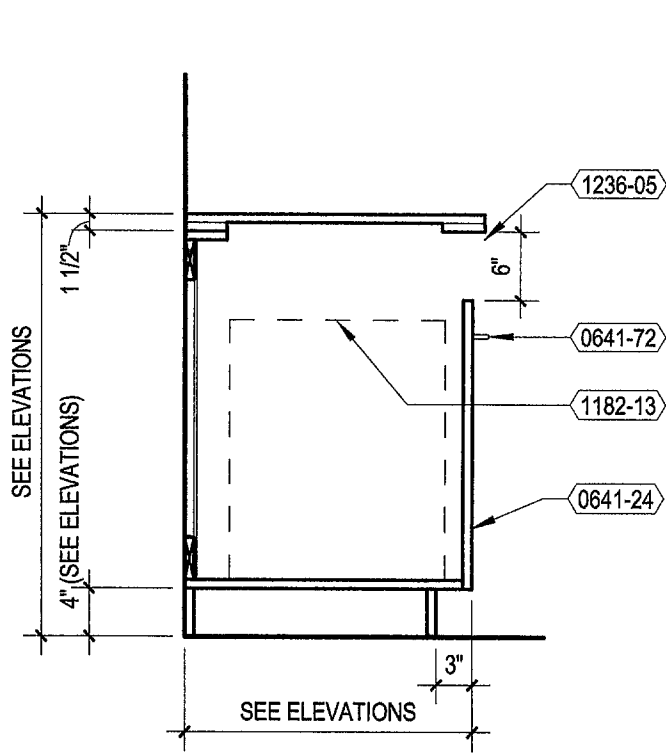
D

C

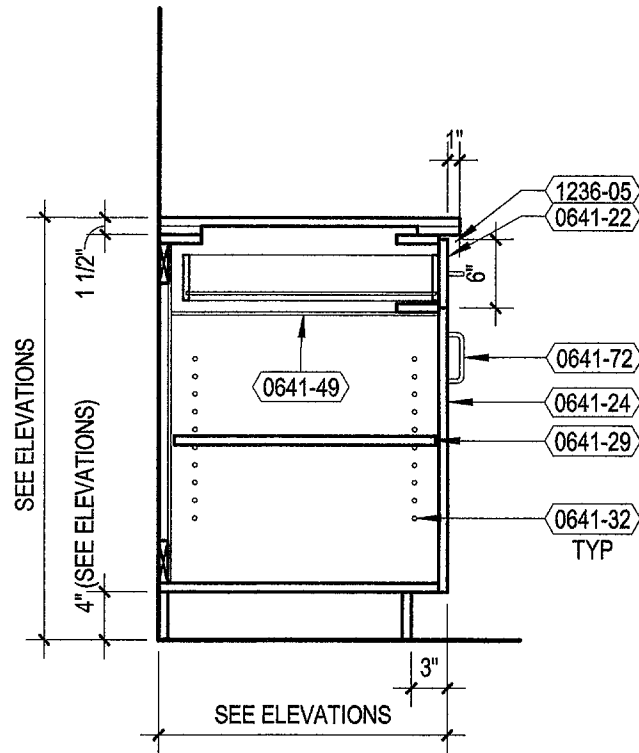
B

A

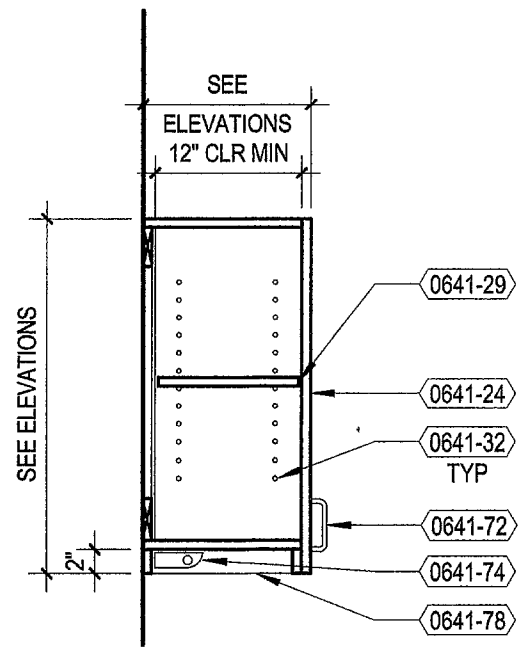
KEYNOTES PER SHEET	
0650-05	1.5" X 3" STEEL TUBE CONCEALED IN WALL AND MOUNTED TO FLOOR
0650-06	HORIZONTAL STEEL TUBE, 1.5" X 3". PROVIDE INTERMEDIATE SUPPORT AS RECOMMENDED BY STONE SUPPLIER
0641-22	DRAWER BOX
0641-24	HINGED DOOR
0641-28	FIXED SHELF
0641-29	(1) ADJUSTABLE SHELF
0641-32	1 1/2" OC HOLE FOR SHELF PIN TYP
0641-34	FACE FRAME TOP & SIDES @ REFRIGERATOR
0641-49	DUST SHIELD ABOVE ALL DRAWERS UNLESS DIRECTLY BELOW COUNTERTOP
0641-72	ROD PULL
0641-74	OMIT DIVIDER PNL BETWEEN UPPER CABINETS FOR FIXTURE CLEARANCES @ UNDERCABINET LIGHT LOCATIONS.
0641-78	PROVIDE VALANCE RETURN ONLY @ EXPOSED ENDS OF CABINETS
0821-13	LINE OF PARTIAL HEIGHT PARTITION BEYOND.
1131-05	REFRIGERATOR SEE EQUIPMENT SCHEDULE.
1182-13	FABRICATED METAL WASTE BIN FROM SHEET GOODS. ALL EXPOSED CUT EDGES TO BE CAPPED WITH A PROTECTIVE RUBBER STRIP.
1236-05	<SCHED MAT> COUNTERTOP WITH SQUARE EDGE. SEE ELEVATIONS
1236-08	COUNTERTOP WITH SQUARE EDGE FRONT & BACK. SEE ELEVATIONS



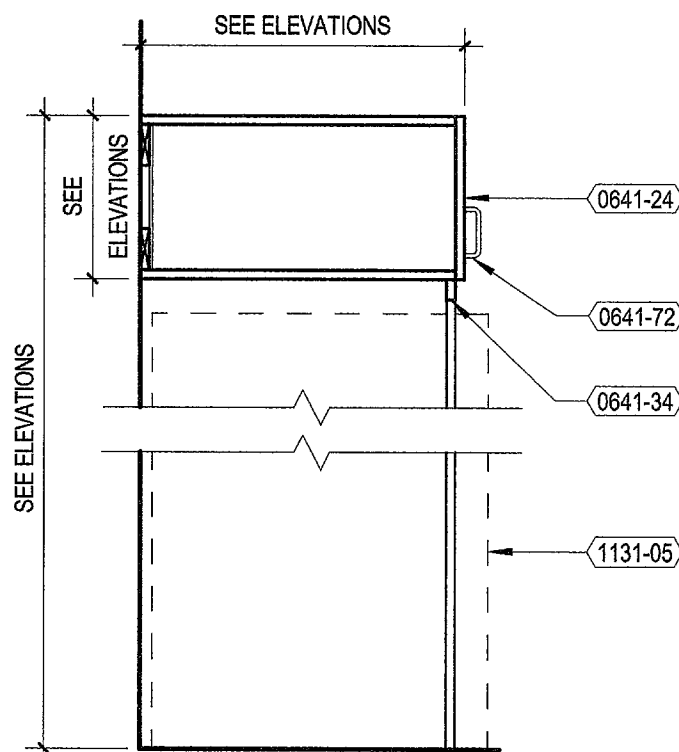
188 TRASH SLDNG OPEN
3/4" = 1'-0"



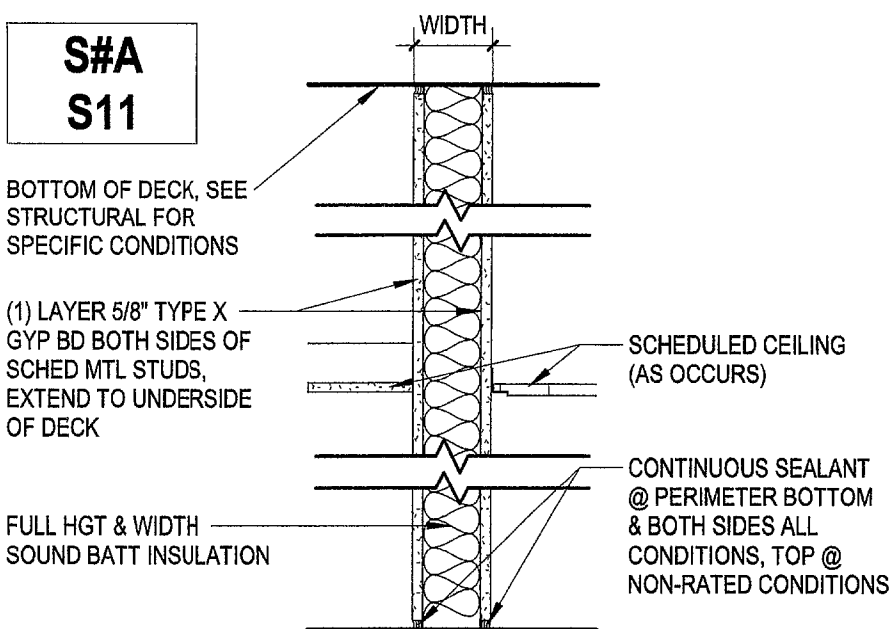
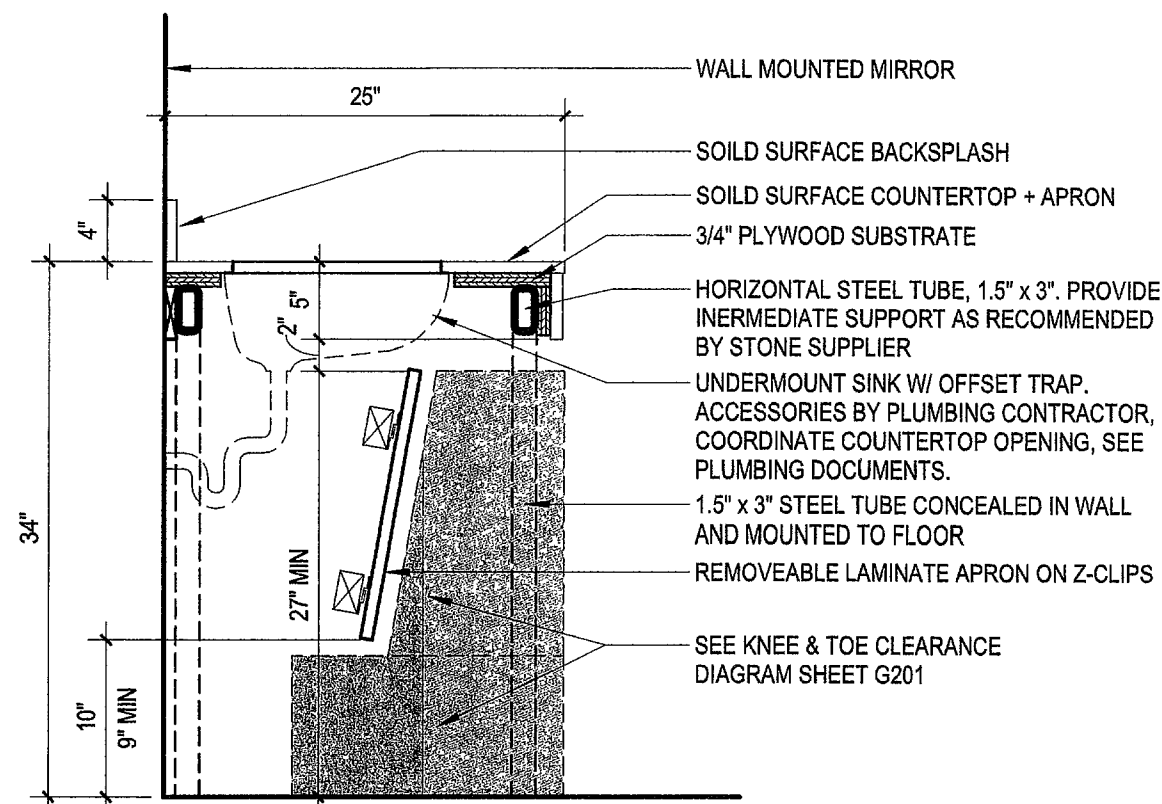
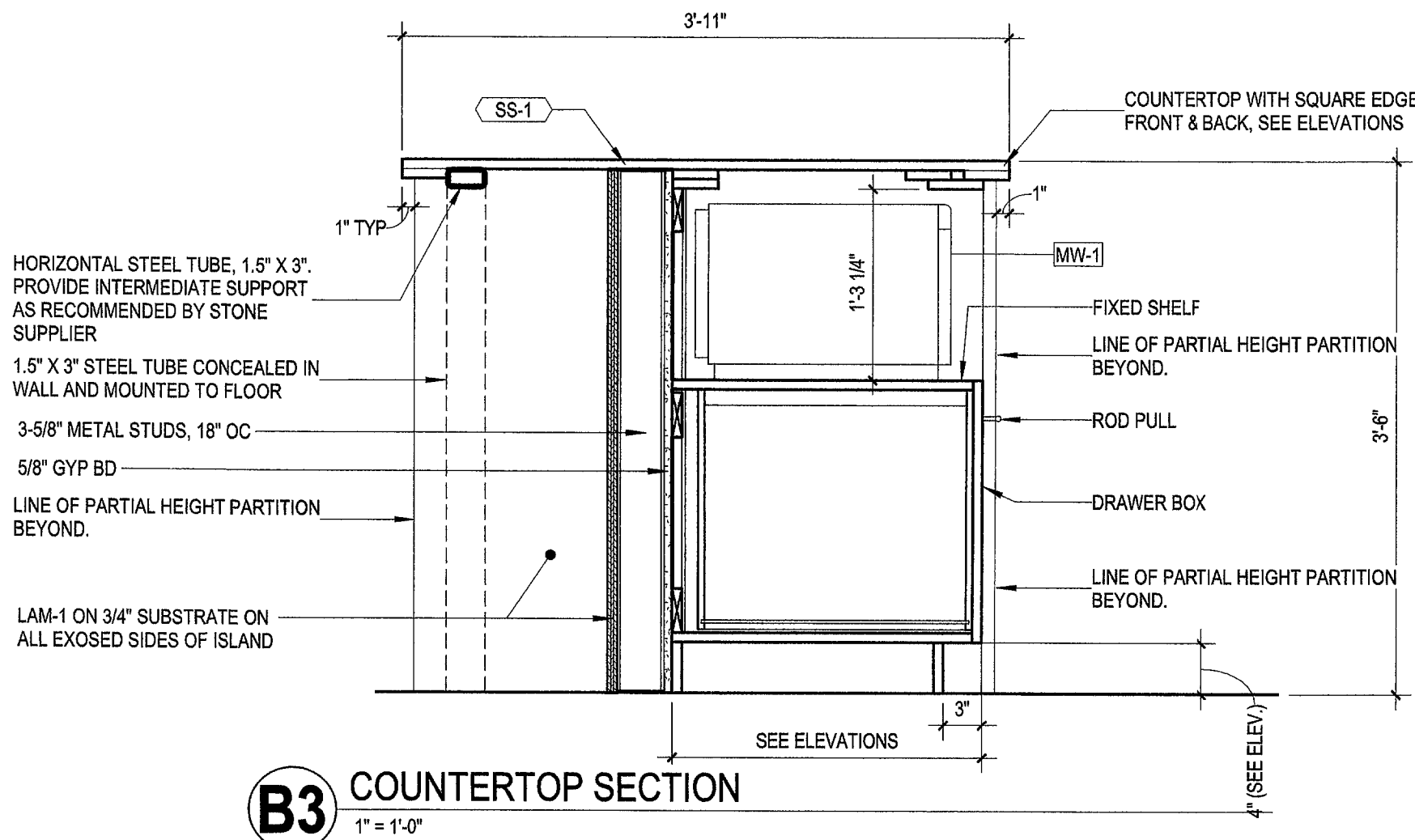
211-212-222 DOOR & TOP DWR
3/4" = 1'-0"



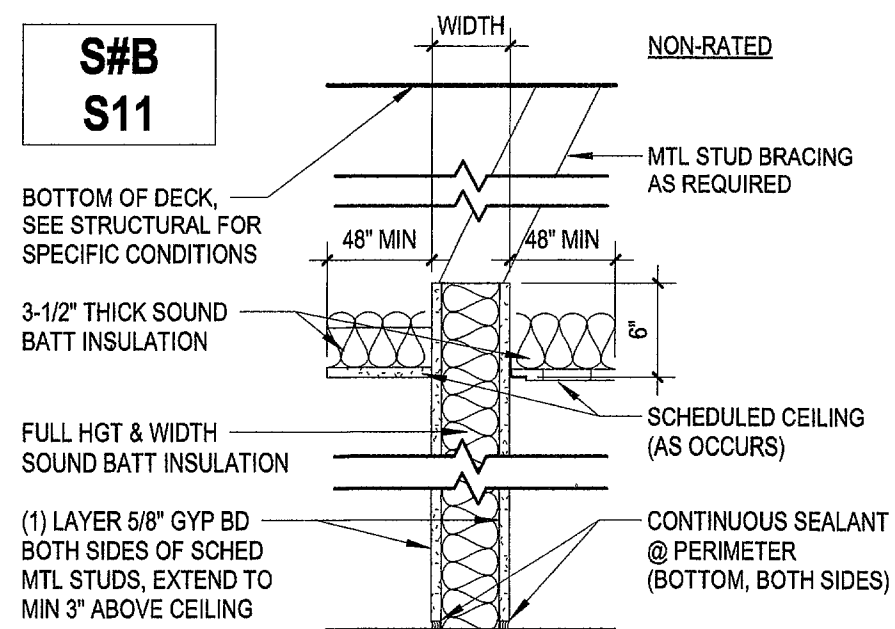
301-302 DOOR UCL
3/4" = 1'-0"



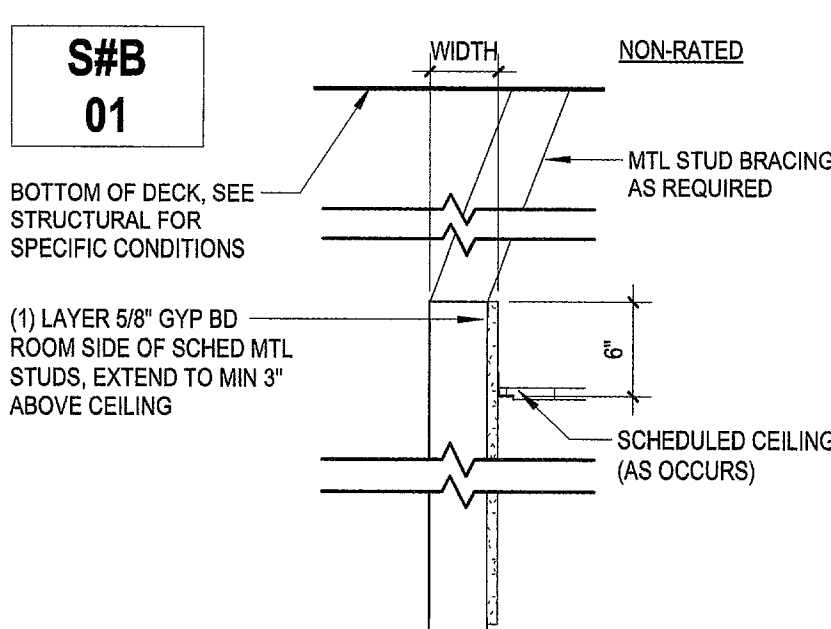
403-404 BUILT-IN REFRIGERATOR
3/4" = 1'-0"



WALL TYPE #	DESCRIPTION	WIDTH	REF TEST	STC
-	-	-	-	-
S2A - S11	2-1/2" MTL STUDS	-	-	-
S3A - S11	3-5/8" MTL STUDS	4-7/8"	UL U465	45
S4A - S11	4" MTL STUDS	5-1/4"	UL U465	45
S6A - S11	6" MTL STUDS	7-1/4"	UL U465	45



WALL TYPE #	DESCRIPTION	WIDTH	REF TEST	STC
-	-	-	-	-
S3B - S11	3-5/8" MTL STUDS	4-7/8"	-	45
S4B - S11	4" MTL STUDS	5-1/4"	-	45
S6B - S11	6" MTL STUDS	7-1/4"	-	46



WALL TYPE #	DESCRIPTION	WIDTH	REF TEST	STC
-	-	-	-	-
S2B - 01	2-1/2" MTL STUDS	3-1/8"	-	-
S3B - 01	3-5/8" MTL STUDS	4-1/4"	-	-
S4B - 01	4" MTL STUDS	4-5/8"	-	-
S6B - 01	6" MTL STUDS	6-5/8"	-	-



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SHEET INFORMATION

PROJECT MANAGER	LC
PROJECT NUMBER	217401-01

CASEWORK DETAILS
+ WALL TYPES

A500

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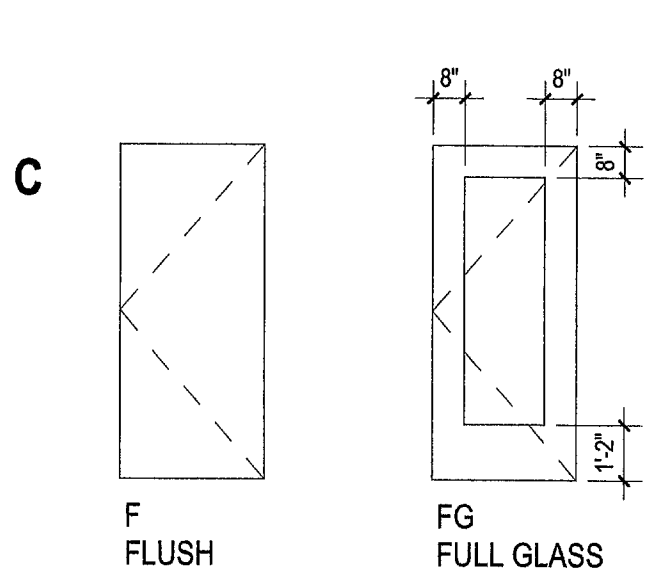
1	
GENERAL NOTES - DFH	
1. DOOR AND FRAME FINISHES:	FINISHES INDICATED FOR DOOR AND FRAME SCHEDULE ARE REFERENCED IN THE MATERIAL SCHEDULE.
2. HARDWARE SPECIFICATIONS:	HARDWARE SPECIFIED IN THE SCHEDULE ARE BASIC ITEMS ONLY. PROVIDE ALL NECESSARY ITEMS REQUIRED FOR COMPLETE INSTALLATION.
3. FIELD VERIFICATION	GC TO VERIFY ALL EXISTING DOOR FRAME SIZES. NEW FRAME HEIGHTS SHALL MATCH EXISTING. MODIFY SCHEDULE TO REFLECT EXISTING CONDITIONS.
4. WINDOW FILM	APPLY TRANSLUCENT WINDOW FILM ON DOOR AND SIDELITE GLASS AT DOORS C200A AND C200B
5. ELECTRONIC ACCESS CONTROL HARDWARE:	ALL ELECTRIC HARDWARE LISTED IN THE SCHEDULE SHALL BE PROVIDED UNDER THE CONSTRUCTION CONTRACT, UNLESS SPECIFICALLY INDICATED TO BE BY OWNER'S SECURITY VENDOR. COORDINATE INSTALLATION OF ELECTRIC HARDWARE AND POWER REQUIREMENTS WITH OWNER'S SECURITY VENDOR.

2

3

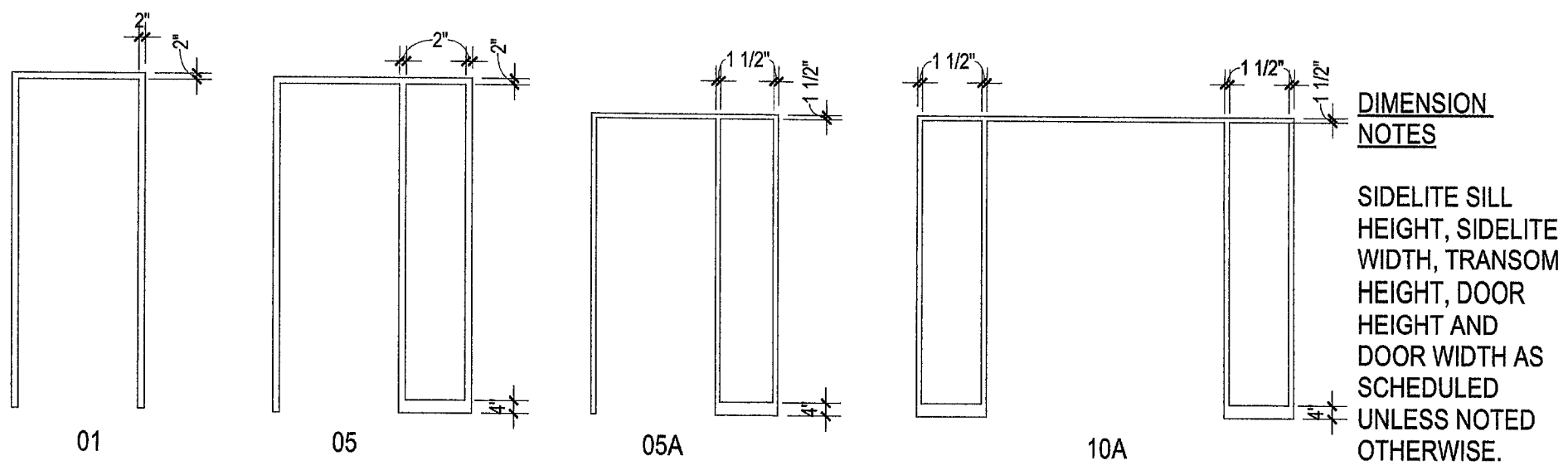
DOOR AND FRAME SCHEDULE																		
NUMBER	DOOR							FRAME							RATING (MIN)	REMARKS		
	SIZE			TYPE	MAT	FIN	GL	TYPE	MAT	FIN	DETAIL			SIDELITE WIDTH			GL	HDWE TAG
	LEAF QTY	WID TH	HGT								HEAD	JAMB	SILL					
201	1	3'-0"	8'-4"	F	WD	ST	--	RELOCATE D	HM	PT-3	B1/A600	B3/A600	B6/A600	1'-6"	EX	H1	--	
202	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	EXIST	1'-6"	EX	H1	--	
204	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	EXIST	1'-6"	EX	H1	--	
205	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	EXIST	6'-6"	EX	H1	--	
206	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	--	H4	--		
207	1	3'-0"	8'-4"	F	WD	ST	--	RELOCATE D	HM	PT-3	B1/A600	B3/A600	B6/A600	1'-6"	EX	H5	--	
209	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	--	H5	--		
210A	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	--	H5	--		
210B	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	--	H5	--		
210C	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	--	H3	--		
211	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	6'-6"	EX	H4	--	
212	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	1'-6"	EX	H4	--	
213	1	3'-0"	8'-4"	F	WD	ST	--	RELOCATE D	HM	PT-3	B1/A600	B3/A600	B6/A600	6'-6"	GL-1	H1	--	
214	1	3'-0"	8'-4"	F	WD	ST	--	EXIST	HM	PT-3	EXIST	EXIST	--	--	H5	--		
215A	0	4'-8"	8'-4"	--	--	--	--	01	HM	PT-3	D6/A600	C6/A600	--	--	--	--		
215B	0	4'-8"	8'-4"	--	--	--	--	01	HM	PT-3	D6/A600	C6/A600	--	--	--	--		
C200A	1	3'-0"	7'-6"	FG	WD	ST	GL-1	05A	ALUM	US27	A1/A600	A3/A600	A6/A600	2'-0"	GL-1	H5	--	
C200B	1	3'-0"	7'-6"	FG	WD	ST	GL-1	05A	ALUM	US27	A1/A600	A3/A600	A6/A600	1'-4"	GL-1	H5	--	
C200C	2	3'-0"	7'-6"	FG	WD	ST	GL-1	10A	ALUM	US27	A1/A600	A3/A600	A6/A600	1'-6"	GL-1	H7	--	
C200D	1	3'-0"	7'-6"	F	WD	ST	--	EXIST	EXIST	US27	A1/A600	A3/A600	--	--	H8	--		
C201	1	3'-0"	7'-6"	F	WD	ST	--	01	HM	PT-3	B1/A600	B3/A600	--	--	H2	--		
C202	1	3'-0"	7'-6"	F	WD	ST	--	01	HM	PT-3	B1/A600	B3/A600	--	--	H2	--		
S202	1	3'-0"	7'-6"	F	WD	ST	--	01	HM	PT-3	EXIST	EXIST	--	--	H9	60		
S203	1	3'-0"	7'-6"	F	WD	ST	--	01	HM	PT-3	EXIST	EXIST	--	--	H6	60		

4		5	
DOOR HARDWARE SETS			
TAG	DESCRIPTION	TAG	DESCRIPTION
H1	-MORTISE LATCHSET, OFFICE FUNCTION SCHLAGE - L 9050 x ATH -(4) BUTT HINGES: IVES 5BB1 4.5 X 4.5 -WALLSTOP: IVES WS407CCV -WARDROBE HOOK: IVES 582MB -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS:	H5	-MORTISE LOCKSET, ELECTRICALLY LOCKING SCHLAGE - L 9092EL x ATH -(1) ELECTRIC HINGE: IVES 5BB1 4.5 X 4.5 TW8 -(3) BUTT HINGES: IVES 5BB1 4.5 X 4.5 -OVERHEAD STOP: GL'YNN JOHNSON 90F OH STOP -CLOSER: LCN 4040 XP, PULL-SIDE -DOOR POSITION SWITCH: SCHLAGE 7764 -CARD READER: PROVIDED BY TENANT -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS: 1, 2, 3
H2	-PUSH PLATE: IVES 8200 4x16 -PULL PLATE: IVES 8305 4x16 -KICK PLATE: IVES 8400 18" HIGH, BOTH SIDES -(4) BUTT HINGES: IVES 5BB1 4.5 X 4.5 -CLOSER: LCN 4040 XP, PULL-SIDE -WALLSTOP: IVES WS407CCV -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS:	H6	-MORTISE LOCKSET, ELECTRICALLY LOCKING SCHLAGE - L 9094EL x ATH -(1) ELECTRIC HINGE: IVES 5BB1 4.5 X 4.5 TW8 -(3) BUTT HINGES: IVES 5BB1 4.5 X 4.5 -WALL STOP: IVES WS407CCV -CLOSER: LCN 4040 XP, PULL-SIDE -DOOR POSITION SWITCH: SCHLAGE 7764 -FINISHES: US26D/BHMA 626 SATIN CHROME -CARD READER: PROVIDED BY TENANT REMARKS: 1, 2
H3	-MORTISE LATCHSET, PASSAGE SCHLAGE - L 9010 x ATH -(4) BUTT HINGES: IVES 5BB1 4.5 X 4.5 HINGES -WALLSTOP: IVES WS407CCV -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS:	H7	-MORTISE LOCKSET, ELECTRICALLY LOCKING SCHLAGE - LM9290EU x ATH -(1) ELECTRIC HINGE: VON DUPRIN 689 -OH STOP: GL'YNN JOHNSON 630 -CLOSER: LCN 4040XP EDA -CARD READER: PROVIDED BY TENANT -DOOR POSITION SWITCH: SCHLAGE 678-05HM -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS: 1, 2
H4	-MORTISE LATCHSET, CLASSROOM FUNCTION SCHLAGE - L 9070 x ATH -BUTT HINGES: IVES 5BB1 4.5 X 4.5 HINGES -WALLSTOP: IVES WS407CCV -CLOSER: LCN 4040 XP W/ HOLD OPEN ARM, PULL-SIDE -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS: 4, 5	H8	-MORTISE LOCKSET, STOREROOM FUNCTION SCHLAGE - L 9080 x ATH -(4) BUTT HINGES: IVES 5BB1 4.5 X 4.5 -WALL STOP: IVES WS407CCV -CLOSER: LCN 4040 XP, PULL-SIDE -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS: 1, 2
GENERAL HARDWARE NOTES: 1) PRIOR TO ORDERING, VERIFY EXACT CYLINDER TYPE REQUIRED (STANDARD, FSIC OR SFIC) WITH BUILDING MANAGER 2) ALL CYLINDERS AND KEYS PROVIDED BY TENANT REMARKS: 1) ALL ACCESS CONTROL EQUIPMENT TO HOMERUN TO A 12x12x4 JUNCTION BOX WITH 3/4" EMT CONDUIT. 2) E.C. TO INSTALL CONDUIT, JUNCTION BOX AND PULL STRINGS FOR CARD READER. CARD READER PROVIDED BY OTHERS. 3) PROVIDE EXTENDED LIP STRIKE		H9	-MORTISE LATCHSET, PASSAGE SCHLAGE - L 9010 x ATH -(4) BUTT HINGES: IVES 5BB1 4.5 X 4.5 HINGES -CLOSER: LCN 4040 XP, PULL-SIDE -WALLSTOP: IVES WS407CCV -FINISHES: US26D/BHMA 626 SATIN CHROME REMARKS:



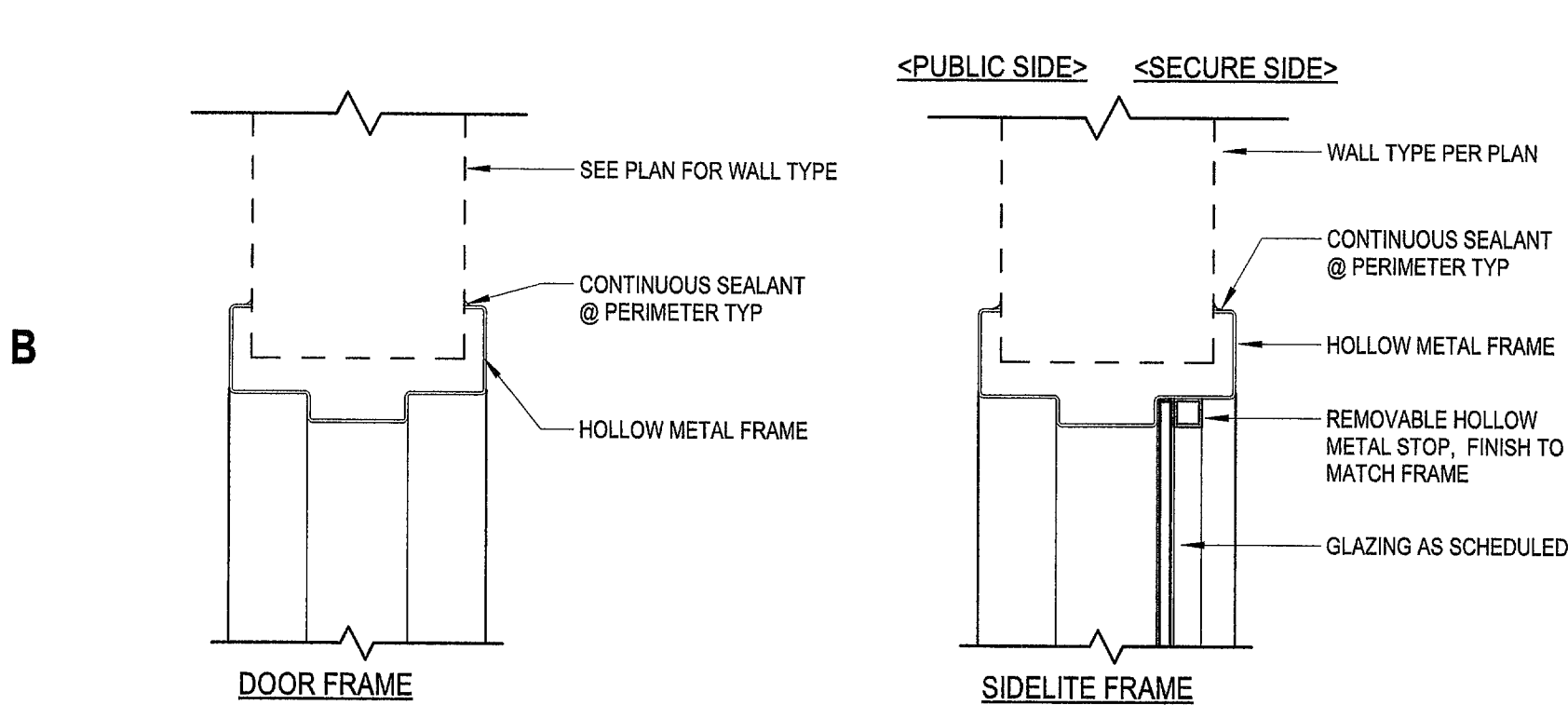
DOOR TYPES

1/4" = 1'-0"



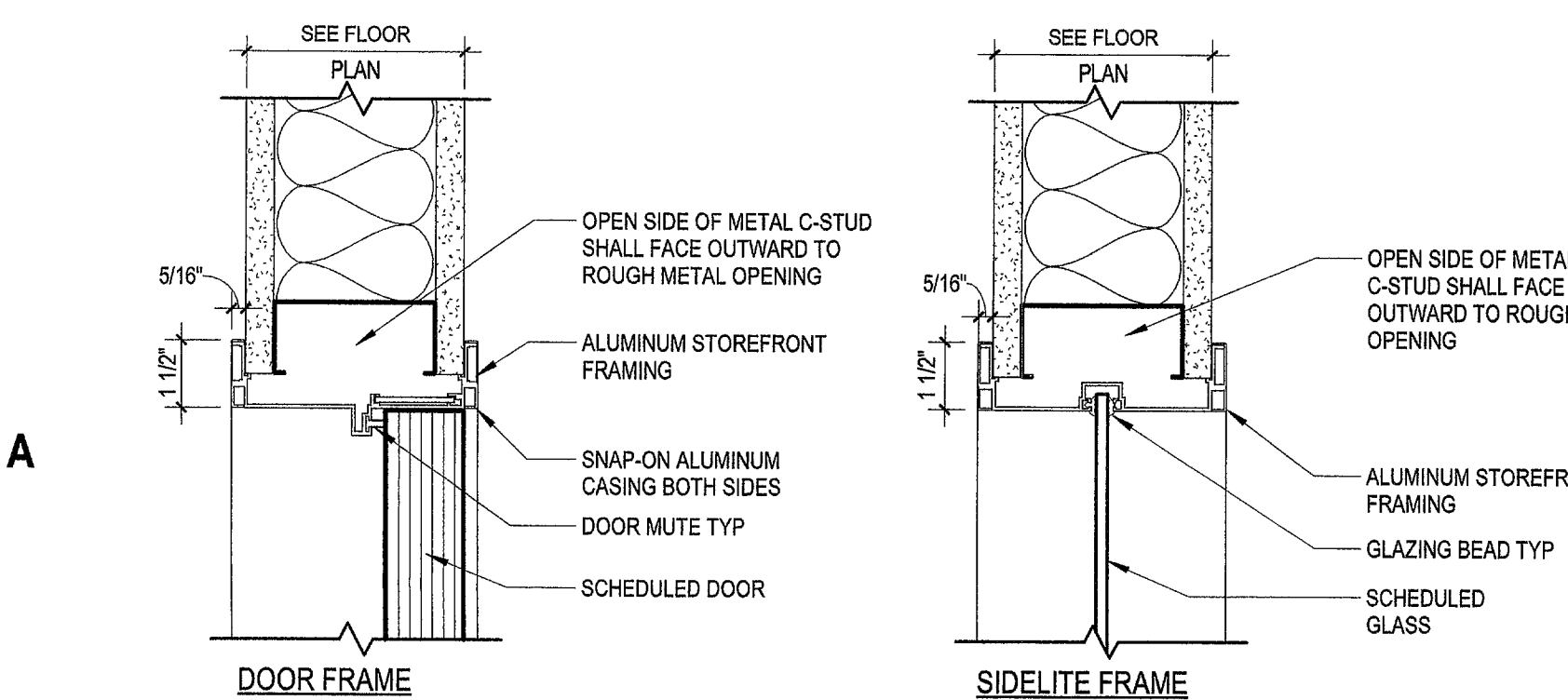
FRAME TYPES

1/4" = 1'-0"



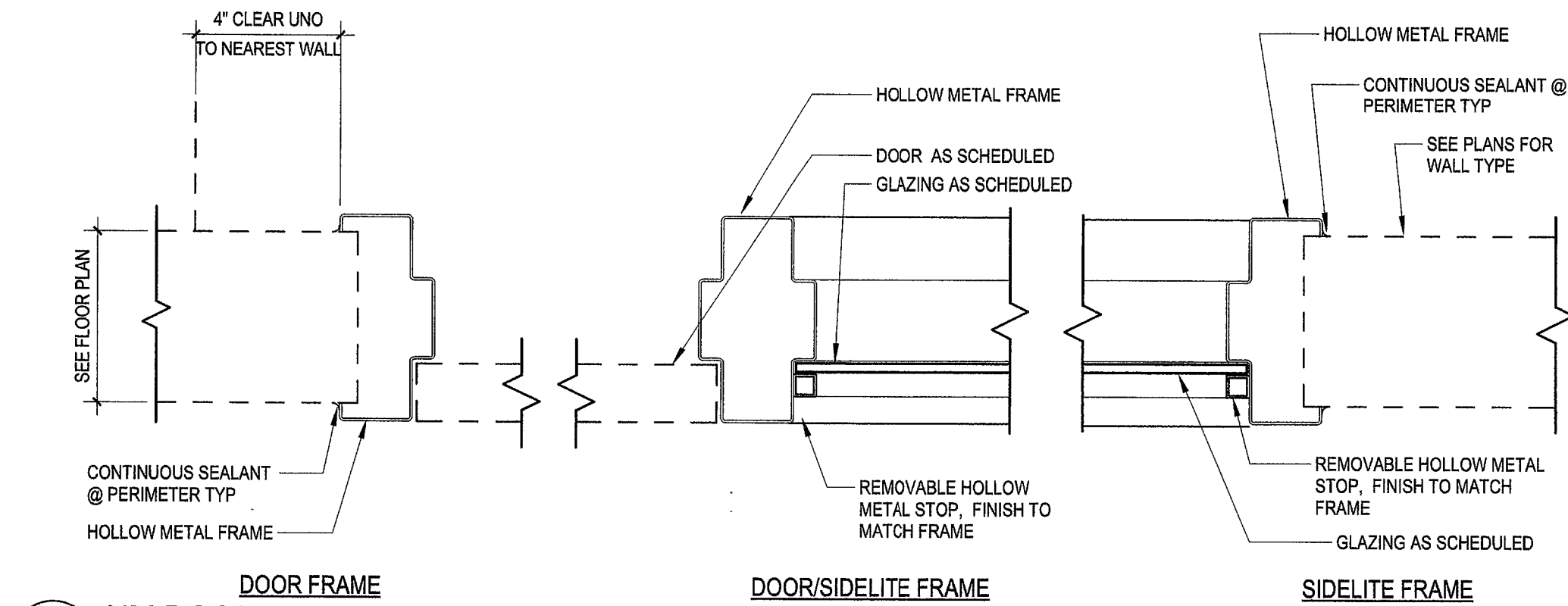
B1 HM BORROWED LITE HEAD-GYP BD

3" = 1'-0"



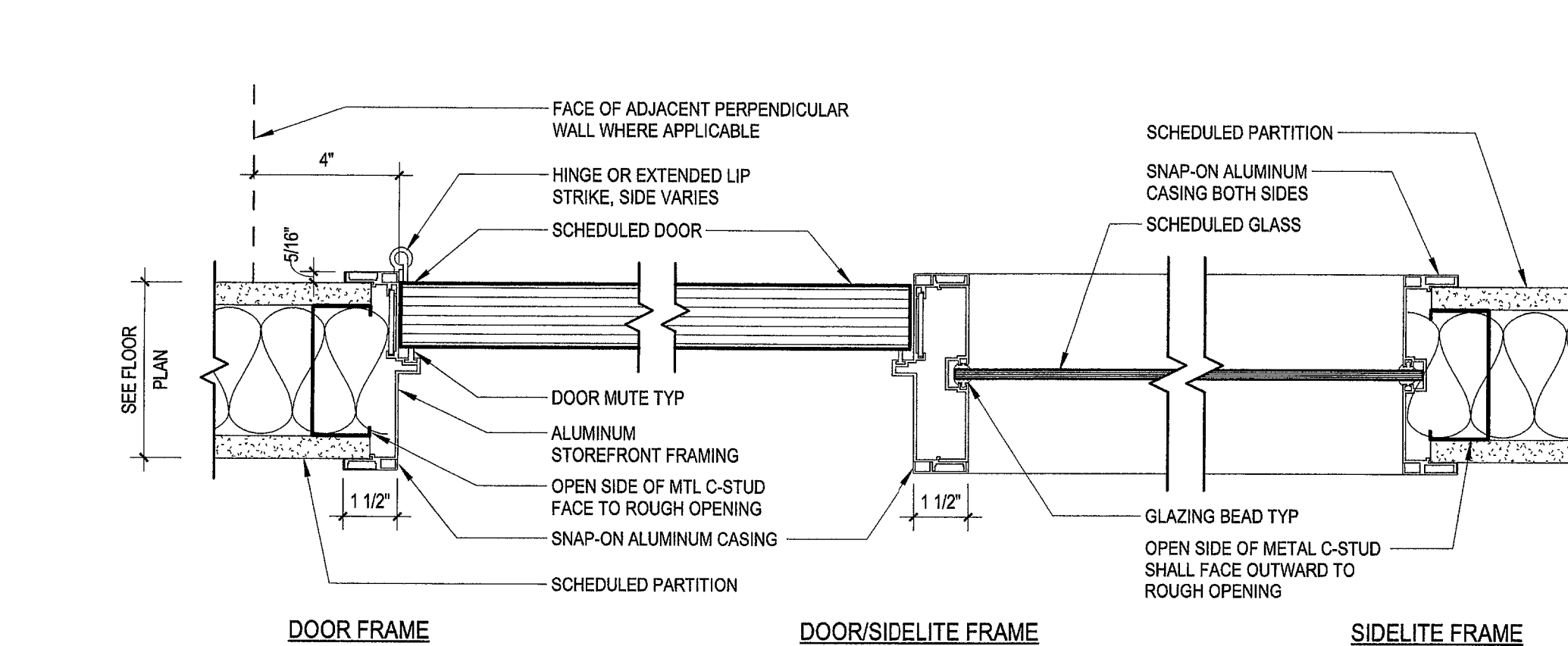
A1 ALUMINUM FRAME @ HEAD

3" = 1'-0"



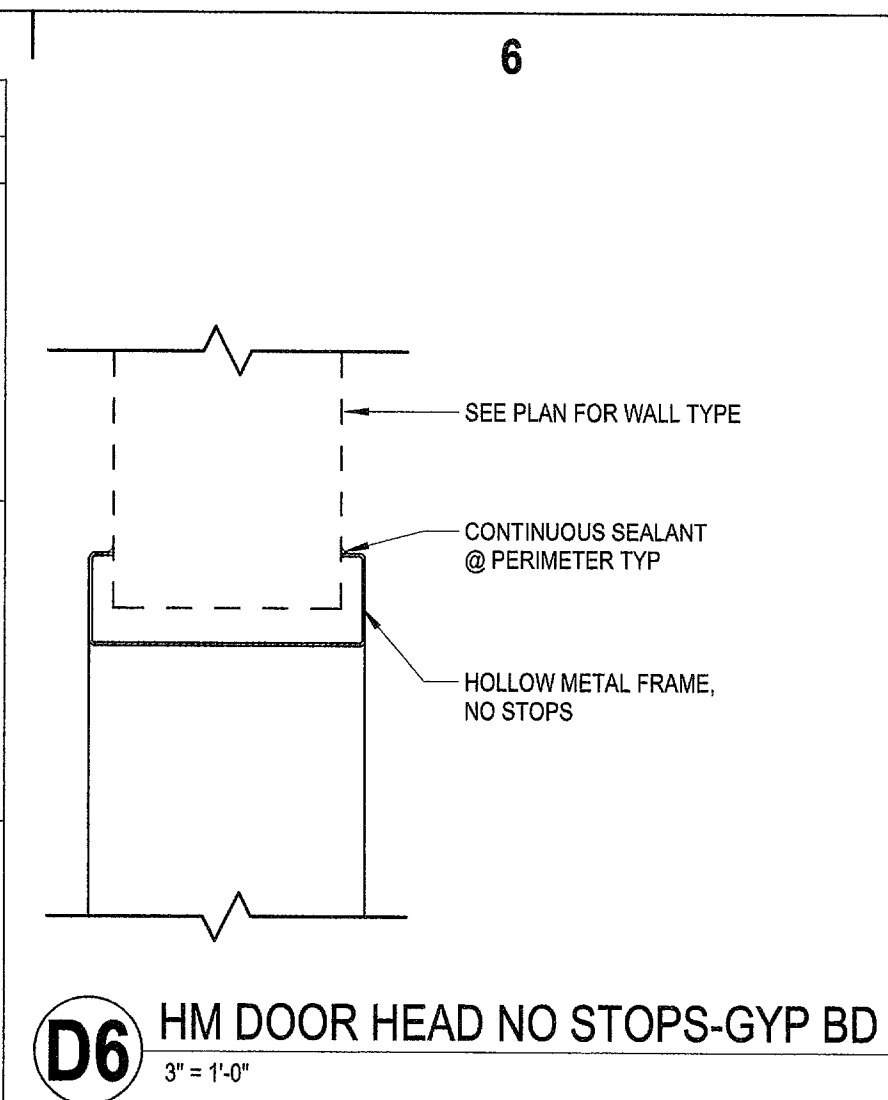
B3 HM DOOR JAMB-GYP BD

3" = 1'-0"



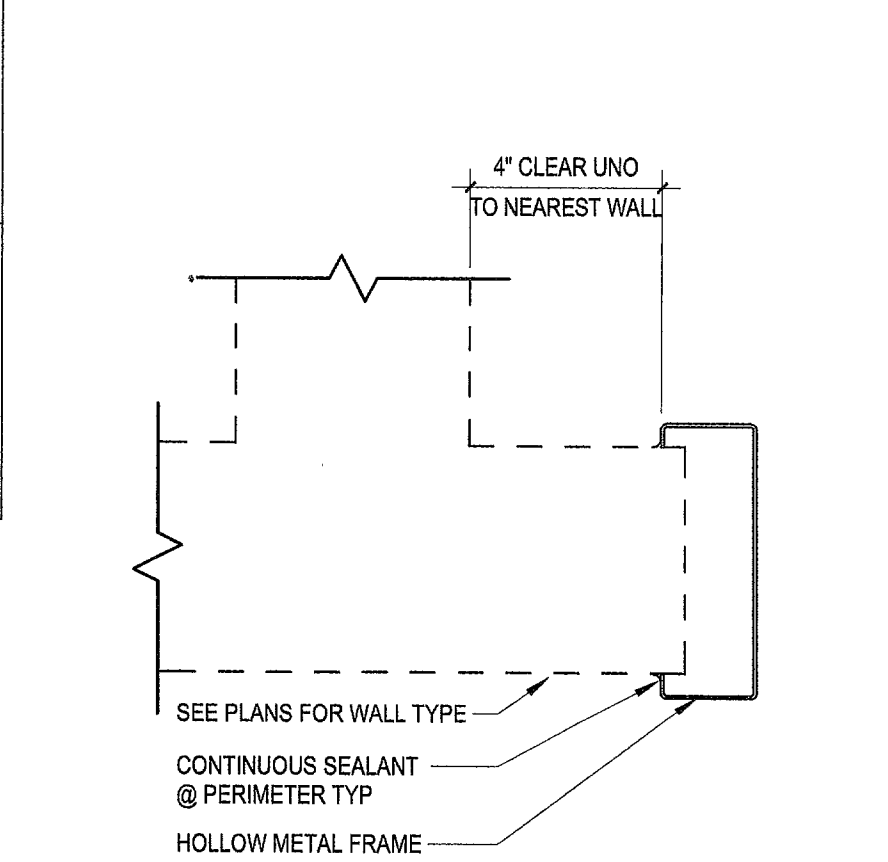
A3 ALUMINUM FRAME @ JAMB

3" = 1'-0"



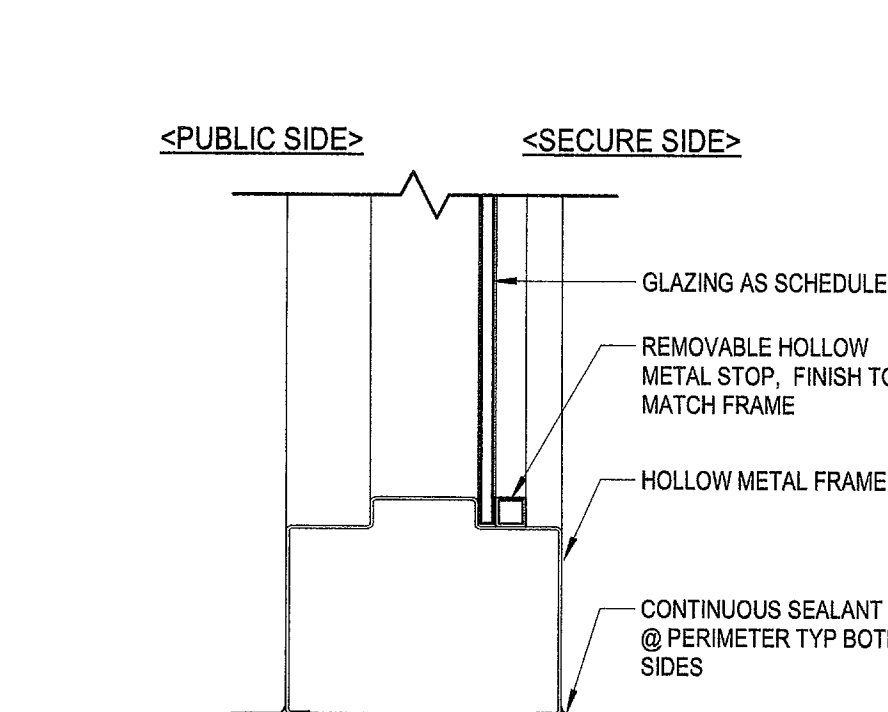
D6 HM DOOR HEAD NO STOPS-GYP BD

3" = 1'-0"



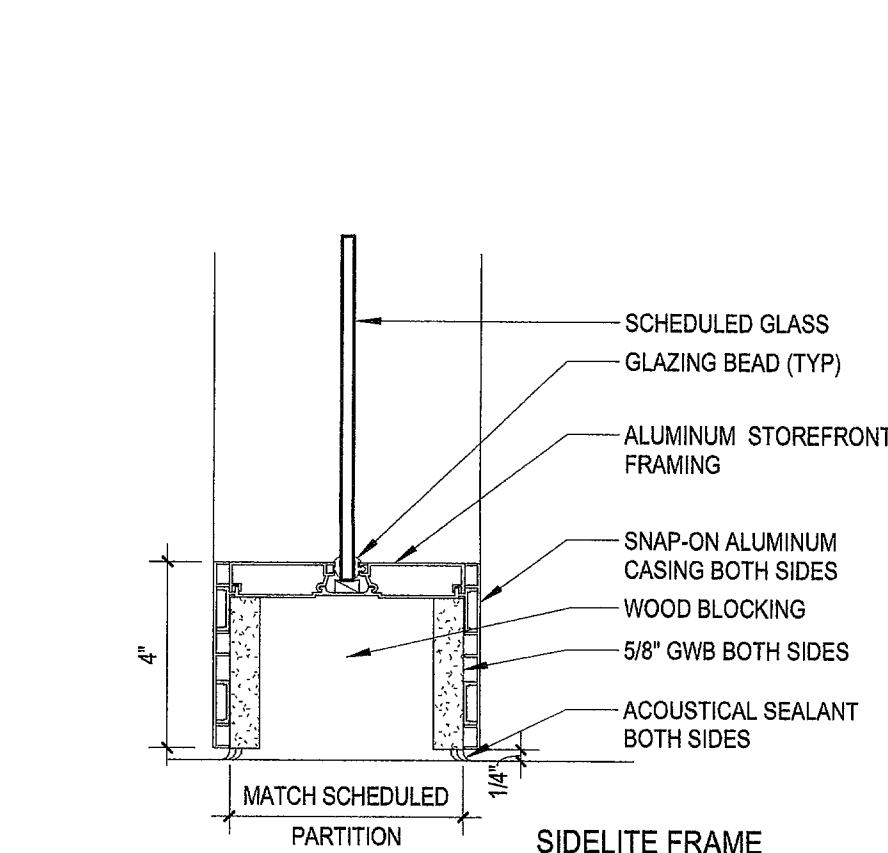
C6 HM DOOR JAMB NO STOPS-GYP BD

3" = 1'-0"



B6 HM BORROWED LITE SILL

3" = 1'-0"



A6 ALUMINUM FRAME @ SIDELITE SILL

3" = 1'-0"



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denver 1899 Wynkoop Street, Suite 300
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INTERIOR REFRESH
4000 BROWN DEER
BROWN DEER, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
------	-------------

SHEET INFORMATION

PROJECT MANAGER LC

PROJECT NUMBER 217401-01

DOOR AND FRAME
SCHEDULE

A600

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